

CORPORATION OF THE TOWN OF AMHERSTBURG

BY-LAW NO. 2002- 14

**Being a by-law to amend Zoning By-law No. 1999-52,
as amended by By-law No. 2001-58.**

WHEREAS By-law 1999-52, as amended, is a land use control by-law regulating the use of lands and the character, location and use of buildings and structures within the Town of Amherstburg;

AND WHEREAS the Council of the Town of Amherstburg deems it appropriate and in the best interest of proper planning to further amend By-law 1999-52, as amended by By-law 2001-58, as herein provided;

AND WHEREAS this By-law conforms to the Official Plan as amended by Official Plan Amendment No. 1 for the Town of Amherstburg;

NOW THEREFORE THE MUNICIPAL COUNCIL OF THE CORPORATION OF THE TOWN OF AMHERSTBURG ENACTS AS FOLLOWS:

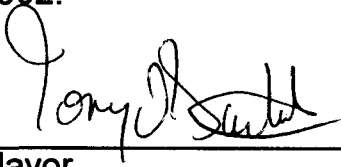
1. Schedule "A", Map 37 of By-law-1999-52, as amended, is hereby further amended by changing the zone symbol on those lands shown as "ZONE CHANGE TO CG-2" on Schedule "A" attached hereto and forming part of this By-law from "Residential Office (RO) Zone" and "Residential Multiple Second Density (RM2) Zone" to "Commercial General (CG-2) Zone".
2. Section 15(4)(b) to the Commercial General Zone, as amended by By-law 2001-58 and being the Zone Requirements to the Commercial General (CG-2) Zone, is further amended by changing Subsection (i), being the frontage on Sandwich Street, from "40 m contiguous" to "30 m contiguous".
3. Section 15(4)(b) to the Commercial General Zone, as amended by By-law 2001-58 and being the Zone Requirements to the Commercial General (CG-2) Zone, is further amended by deleting Subsection (viii) and replacing it with the following:

"(viii) Location of Parking

Access and limited front yard parking shall be permitted on Part Lot 14 and 15, subject to the required landscaped planting strips as provided for in Subsection (vi) of By-law 2001-58. No access will be permitted from Part Lot 12."
4. Section 15(4)(b) to the Commercial General Zone, as amended by By-law 2001-58 and being the Zone Requirements to the Commercial General (CG-2) Zone, is further amended by deleting Subsection (ix).
5. Section 15(4)(b) to the Commercial General Zone, as amended by By-law 2001-58 and being the Zone Requirements to the Commercial General (CG-2) Zone, is further amended by renumbering Subsection (x) to Subsection (ix).
6. That all other appropriate regulations for the use of land and the character, location and use of buildings and structures conforms to regulation of the Commercial General (CG-2) Zone and all other general provisions or regulations of By-law 1999-52, as amended from time to time.

7. This By-law shall take effect from the date of passage by Council and shall come into force in accordance with Section 34 of the Planning Act, R.S.O. 1990.

Read a first, second and third time and finally passed this 11th day of March, 2002.



Mayor



Clerk

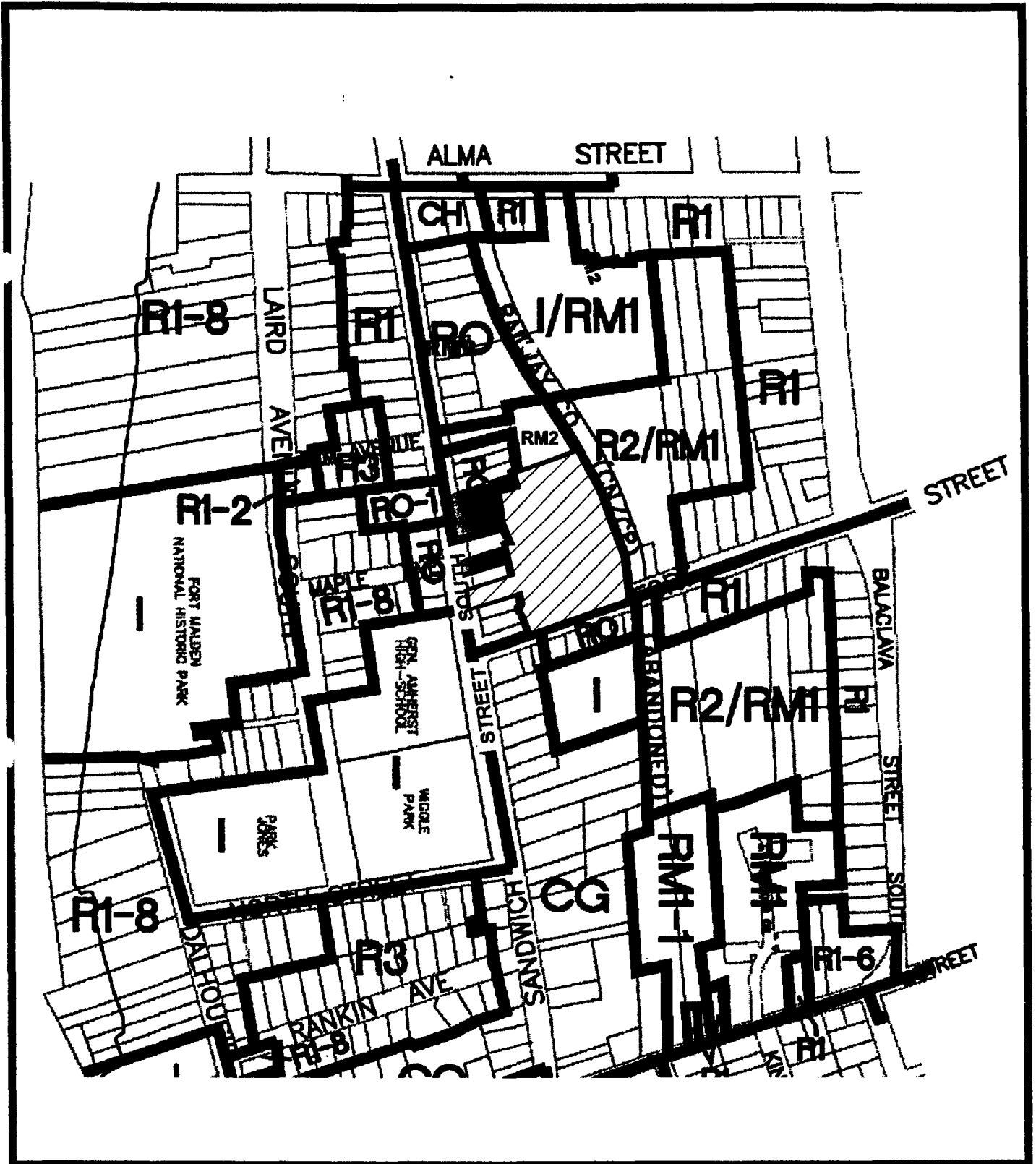
TOWN OF AMHERSTBURG

SCHEDULE "A" TO BY-LAW No. 2002-14
 A BY-LAW TO AMEND BY-LAW No. 1999-52,
 AS AMENDED BY BY-LAW No. 2001-58

PASSED THIS 11th DAY OF MARCH 20 02

[Signature]
 MAYOR

[Signature]
 CLERK



KEY MAP No. 37

SCALE



ZONE CHANGE TO CG-2



LANDS AFFECTED BY
 BY-LAW No. 2001-58