

THE CORPORATION OF THE TOWN OF AMHERSTBURG

BY-LAW NO. 2001-23

A by-law to authorize the signing of a Development Agreement.

WHEREAS Norbert J. Schuller has proposed the development of property at 89 Rankin Street for an addition to the Richmond Terrace Nursing Home;

AND WHEREAS the Council of the Town of Amherstburg and owners of the said property have agreed to the terms and conditions of a Development Agreement in the form annexed hereto;

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF AMHERSTBURG HEREBY ENACTS AS FOLLOWS:

1. That the Mayor and Clerk be and they are hereby authorized to execute the original and copies of a Development Agreement in the form annexed hereto and affix the Corporate Seal thereto.
2. This By-Law shall come into force and effect on the date of final passage hereof.

Read a first, second and third time and finally passed this 14th day of May, 2001.

Mayor

Clerk

1st Reading: May 14, 2001

2nd Reading: May 14, 2001

3rd Reading: May 14, 2001

Certified to be a true copy of By-Law
No. 2001-23 passed by the Amherstburg
Municipal Council on May 14, 2001.

TOWN OF AMHERSTBURG
DEVELOPMENT AGREEMENT

BETWEEN: NORBERT J. SCHULLER

- AND -

THE CORPORATION OF THE TOWN OF AMHERSTBURG

DATE:

DEVELOPMENT AGREEMENT

Registered _____, 2001

THIS AGREEMENT made in quintuplicate this _____ day of _____, 2001.

BETWEEN: NORBERT J. SCHULLER

hereinafter called the "OWNER"
OF THE FIRST PART

- and -

THE CORPORATION OF THE TOWN OF
AMHERSTBURG

hereinafter called the "CORPORATION"
OF THE SECOND PART

WHEREAS the lands affected by this Agreement are described in Schedule "A" attached hereto, and are hereinafter referred to as the "said lands";

AND WHEREAS the Owner warrants it is the registered owner of the said lands;

AND WHEREAS, in this Agreement the "Owner" includes an individual, an association, a partnership or corporation and, wherever the singular is used therein, it shall be construed as including the plural;

AND WHEREAS the Official Plan in effect in Amherstburg designated parts of the area covered by the Official Plan as a Site Plan Control Area;

AND WHEREAS the Owner intends to develop or redevelop the said lands for an addition to the Richmond Terrace Nursing Home in accordance with the Site Plan attached hereto as Schedule "B", and hereinafter referred to as the "Site Plan";

AND WHEREAS the Corporation as a condition of development or redevelopment of the said lands requires the Owner to enter into a Development Agreement;

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of other goods and valuable consideration and the sum of FIVE (\$5.00) DOLLARS of lawful money of Canada, now paid by each of the parties hereto to each of the other parties hereto, (the receipt of which is hereby acknowledged), the Owner hereby covenants and agrees with the Corporation as follows:

1. The following Schedules, which are identified by the signatures of the parties to this Agreement, and which are attached hereto, are hereby made a part of this Agreement as fully and to all intents and purposes as though recited in full herein:

SCHEDULE "A" - Legal description of the said lands

SCHEDULE "B" - Site Plan

SCHEDULE "C" - Landscape Plan

SCHEDULE "D" - Site Servicing and Grading Plan

SCHEDULE "E" - Elevations

2. Schedule "A" hereto describes the lands affected by this Agreement.
3. Schedule "B" hereto shows:
 - (a) The location of all buildings and structures to be erected;
 - (b) The location and provision of off-street vehicular loading and parking facilities and access driveways including driveways for emergency vehicles;
 - (c) Walkways and all other means of pedestrian access;
 - (d) The location and provision for the collection and storage of garbage and other waste material.
4. Schedule "C" hereto shows:
 - (a) Landscaping and a list of plant materials.
5. Schedule "D" hereto shows:
 - (a) Site servicing and grading plan.
6. Schedule "E" hereto shows:
 - (a) Elevation drawings.
7. The Owner shall be responsible for consulting with the Corporation's Hydro Electric Commission regarding any matters that relate to services provided by the Hydro Electric Commission.
8. The Owner shall be responsible for consulting with and obtaining any necessary approval from the Ministry of the Environment or the Essex Region Conservation Authority.
9. All of the exterior walls of the building shall be faced with decorative block, brick, stone, stucco, structural glass, tile, baked enamel on steel or similar finished material.
10. All parking or loading areas and lanes and driveways shall be paved with asphalt or a concrete portland cement or other material capable of permitting accessibility under all climatic conditions, as shown on Schedule "B" and together with crushed stone, slag, gravel, crushed brick, tile, cinders or like material, having a combined depth of at least 15.2 cm and with provisions for drainage facilities.
11. The Owner shall maintain a minimum of parking spaces, as designated on Schedule "B".
12. All walkways on the said lands, where so designated on Schedule "B", shall be constructed of either concrete or interlocking paving stone by the Owner to the satisfaction of the Corporation.

13. If any curbs, sidewalks, boulevards or highway surfaces of the Corporation are damaged during the development by the Owner, such damage shall be repaired or replaced by the Owner.
14. Snow removal from the parking or loading areas and lanes, driveways and walkways shall be the responsibility of the Owner.
15. The Owner shall install and maintain a system for the disposal of storm and surface water as indicated on Schedule "D" so that no such water will flow along the surface from the said lands onto any adjoining lands. All storm and surface water disposal systems shall be to the satisfaction of the Corporation's Engineer and separated from the sanitary sewer.
16. Any garbage or refuse that is stored outside shall be stored in a non-combustible container and maintained so that the garbage or refuse does not blow or fall out of the container.
17. Any and all lighting shall be installed and maintained so as to not, in the opinion of the Corporation, interfere with the use or enjoyment of adjacent properties or with the safe flow of traffic on abutting or adjacent streets.
18. The Owner shall landscape and maintain in plants and ground cover acceptable to the Corporation those lands so indicated on Schedule "C".
19. A fence, stained or treated and maintained, with a minimum of 1.8 metres high, shall be constructed and maintained along the limits of the property if shown on Schedule "B".
20. All driveways for emergency vehicles shall:
 - (a) Be connected with a public thoroughfare;
 - (b) Be designed and constructed to support expected loads imposed by firefighting equipment;
 - (c) Be surfaced with concrete, asphalt or other material capable of permitting accessibility under all climatic conditions;
 - (d) Have a clear width of 3 metres at all times;
 - (e) Be located not less than 3 metres and not more than 15.2 metres measured horizontally and at right angles from the face of the building;
 - (f) Have an overhead clearance not less than 4.5 metres;
 - (g) Have a change in gradient of not more than 1 in 12.5 over a minimum distance of 15.2 metres; and
 - (h) Have approved signs displayed to indicate the emergency route.
21. If the Ontario Building Code requires that an architect or professional engineer or both shall be responsible for the field review of any new building or extension provided for in this Agreement, the Owner shall not occupy or use or permit to be occupied or used any said new building or extension until after an architect or professional engineer has given to the Corporation a letter addressed to the Corporation and signed by him certifying that all services on or in the said lands, required for this development or redevelopment, newly installed by the Owner in connection with this development or redevelopment and not contained within a building, have been installed and completed in a manner satisfactory to the architect or professional engineer.

22. The Corporation through its servants, officers and agents including its building inspector, plumbing inspector, fire chief, public works head and municipal engineer may from time to time and at any time enter on the premises of the Owner to inspect:
 - (a) The progress of development;
 - (b) The state of maintenance as provided for in this Agreement.
23. In the event of any servant, officer or agent of the Corporation determining upon inspection the development is not proceeding in strict accord with the plans and specifications filed, such servant, officer or agent shall forthwith place a notice requiring all work to be stopped upon the premises and forward a copy by registered mail to the Owner at his last address as shown by the revised assessment rolls, and the Owner shall forthwith correct the deficiency or deviation.
24. In the event of any servant, officer or agent of the Corporation upon inspection being of the opinion that the state of maintenance is not satisfactory, such servant, officer or agent shall forthwith forward notice of such opinion to the Owner by registered mail at his last address as shown from the revised assessment rolls, and the Owner shall forthwith correct the deficiency or appeal to Council of the Corporation as hereinafter provided.
25. In the event that an Owner should disagree with the opinion of the servant, officer or agent of the Corporation as to the state of maintenance, such Owner shall appear before Council of the Corporation, which after hearing the Owner, shall express its opinion as to whether the maintenance is satisfactory by resolution, which shall constitute a final determination of the matter.
26. In the event that an Owner should fail to obey a stop work order issued under Section 23 hereof, the Owner recognizes the right of the Corporation to apply to the Courts for a restraining order.
27. In the event that an Owner should fail to correct a deviation or deficiency after notice pursuant to Section 24 or after notice of an opinion, which Council of the Corporation determines is correct under Section 25, the Council of the Corporation may by law direct or default of the matter or thing being done by the Owner, after two (2) weeks notice to it by registered mail at the last shown address of the Owner pursuant to the revised assessment rolls of passage of such by-law, that such matter or thing be done by the Corporation at the expense of the Owner, which expense may be recovered by action or like manner as municipal taxes.
28. In the event of an Owner wishing to change at any time any of the buildings, structures or facilities described in the plans annexed or referred to in Section 3 hereof, it shall make application to Council of the Corporation for approval and shall not proceed with such change until approval is given by such Council, or in default by the Ontario Municipal Board, under the procedure set out in Section 41 of the Planning Act, R.S.O. 1990 herebefore referred to.
29. This Agreement and the provisions thereof do not give to the Owner or any person acquiring any interest in the said lands any rights against the Corporation with respect to the failure of the Owner to perform or fully perform any of its obligations under this Agreement or any negligence of the Owner in its performance of the said obligations.

30. In the event that no construction on the said lands has commenced within one (1) year from the date of registration of this Agreement, the Corporation may, at its option, on one month's notice to the Owner, declare this Agreement to be subject to re-negotiation, whereupon the Owner agrees that it will not undertake any construction on the said lands until this Agreement has been re-negotiated.
31. All facilities and matters required by this Agreement shall be provided and maintained by the Owner at its sole risk and expense to the satisfaction of the Corporation and in accordance with the standards determined by the Corporation and in default thereof and without limiting other remedies available to the Corporation, the provisions of Section 469 of The Municipal Act shall apply.
32. A financial guarantee (Performance Bond, Letter of Credit or other security acceptable to the Corporation) for 100% of the cost of on-site improvements (other than buildings or structures) is required as part of the site plan agreement. The said amount to be approved by the Corporation's Manager of Public Services. A one (1) year maintenance bond is also a requirement of this agreement.
33. This Agreement shall be registered against the land to which it applies, at the expense of the Owner, and the Corporation shall be entitled, subject to the provisions of The Registry Act and The Land Titles Act, to enforce its provisions against the Owner named herein and any and all subsequent owners of the land.

IN WITNESS WHEREOF the Owner executed this Agreement.

OWNER: NORBERT J. SCHULLER

Norbert J. Schuller

THE CORPORATION OF THE TOWN
OF AMHERSTBURG

Mayor - Tony DiBartolomeo

Clerk - Dave Mailloux

Authorized and approved by By-Law
No. 2001-23 enacted the 14th day of
May, 2001.

SCHEDULE "A"

The following is a description of the land to which this instrument applies:

ALL AND SINGULAR that certain parcel or tract of land described as Lots 31, 32, 35, 36 and Part of Lots 33 and 34, Registered Plan No. 2, Lots 7, 8, 9 and Part of Lot 10, Registered Plan No. 6 in the Town of Amherstburg, County of Essex in the Province of Ontario.

DRAWING INDEX
ARCHITECTURAL

- A1 SITE PLAN
- A1A LANDSCAPING PLAN
- A1B SITE SERVICES PLAN
- A2 FIRST FLOOR PLAN - ADDITION
- A2A FIRST FLOOR PLAN - EXISTING
- A3 SECOND FLOOR PLAN - ADDITION
- A4 THIRD FLOOR PLAN - ADDITION
- A5 ROOF PLAN - ADDITION
- A6 ELEVATIONS
- A7 CROSS SECTIONS
- A8 SECTIONS
- A9 SECTIONS
- A10 SECTIONS
- A11 REFLECTED CEILING PLANS - ADDITION
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- A13 MILLWORK ELEVATIONS & DETAILS

STRUCTURAL

- S1 FOUNDATION PLAN
- S2 MAIN FLOOR FRAMING PLAN / SECTIONS
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- S5 ROOF FRAMING PLAN
- S6 WALL SECTIONS
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MECHANICAL

- M1 EXISTING BASEMENT
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- M3 FIRST FLOOR
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- M6 PLUMBING DETAILS
- M7 PLUMBING DETAILS
- M8 PLUMBING RISERS
- M9 EXISTING BASEMENT
- M10 EXISTING BASEMENT
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- M12 SECOND FLOOR
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- M19 EXISTING BASEMENT
- M20 FIRST FLOOR
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- M23 DETAILS
- M24 SCHEDULES

ELECTRICAL

- E1 SITE PLAN, LEGEND AND DRAWING LIST
- E2 DEMOLITION
- E3 DEMOLITION
- E4 RENOVATION
- E5 LIGHTING
- E6 LIGHTING
- E7 LIGHTING
- E8 POWER AND COMMUNICATION
- E9 POWER AND COMMUNICATION
- E10 POWER AND COMMUNICATION
- E11 RISER DIAGRAMS AND DETAILS
- E12 SCHEDULES AND DETAILS

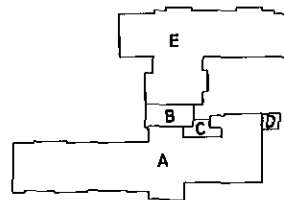
GENERAL NOTES:

1. BUILDING LOCATION SURVEY LOTS 31,32,33,34 & PART OF LOTS 33 & 34 REGISTERED PLAN NO. 2 LOTS 7,8,9 & PART OF LOT 10 REGISTERED PLAN NO. 6 TOWN OF AMHERSTBURG COUNTY OF ESSEX

SITE NOTES:

EXISTING SITE AREA	119,198 SQ.FT.	11,073.5 SQ.M.
EXISTING BUILDING AREA	19,428 SQ.FT.	1,804.5 SQ.M.
ADDITION BUILDING AREA	18,058 SQ.FT.	1,677.3 SQ.M.
TOTAL BUILDING AREA	37,486 SQ.FT.	3,481.8 SQ.M.
EXISTING SITE COVERAGE	16.2%	
NEW SITE COVERAGE	31.4%	
LANDSCAPE OPEN SPACE	81,718 SQ.FT.	7,591.6 SQ.M.
EXISTING FLOOR AREA	58,272 SQ.FT.	5,413.5 SQ.M.
ADDITION FLOOR AREA	62,104 SQ.FT.	5,748.5 SQ.M.
TOTAL FLOOR AREA	120,376 SQ.FT.	11,162.0 SQ.M.
EXISTING FACILITY CAPACITY	115 BEDS	
ADDITIONAL FACILITY CAPACITY	60 BEDS	
TOTAL FACILITY CAPACITY	175 BEDS	
PARKING REQUIRED (1.5 SPACES / 3 BEDS)	55 PARKING SPACES	
PARKING PROVIDED	55 PARKING SPACES	

BUILDING DESIGN DATA:



EXISTING BUILDING
BUILDING "A" - (3 STOREY - 1,804.5 SQ.M.)
B2 OCCUPANCY
5,413.5 SQ.M. BUILDING AREA
CONSTRUCTION CONFORMS TO O.B.C. - 1986 3.2.2.26
ANY HEIGHT, ANY AREA - NONCOMBUSTIBLE CONSTRUCTION UNSPRINKLED

ADDITION TO EXISTING BUILDING
BUILDING "B" - (3 STOREY - 129.3 SQ.M.)
BUILDING "C" - (1 STOREY - 66.8 SQ.M.)
BUILDING "D" - (1 STOREY - 28.9 SQ.M.)
B2 OCCUPANCY
485.6 SQ.M. BUILDING AREA
CONSTRUCTION CONFORMS TO O.B.C. - 1997 U.S & U.I.
NONCOMBUSTIBLE CONSTRUCTION UNSPRINKLED

NEW BUILDING
BUILDING "E" - (3 STOREY - 1,452.3 SQ.M.)
B2 OCCUPANCY
4,356.9 SQ.M. BUILDING AREA
CONSTRUCTION CONFORMS TO O.B.C. - 1997 3.2.2.38
ANY HEIGHT, ANY AREA - NONCOMBUSTIBLE CONSTRUCTION SPRINKLED



SCHEDULE "B"

Norbert J. Schuller

Tony DiBartolomeo
Mayor

David Mailloux
Clerk

1	10/24/00	SUBMISSION OF WORK DRAWINGS TO M.O.L. & F.A.O.		
			No.	Revision

Norbert J. Schuller
Architect
284 Central Ave. London, Ont. N6G 2J8
(519) 672-8880 Fax (519) 672-6778

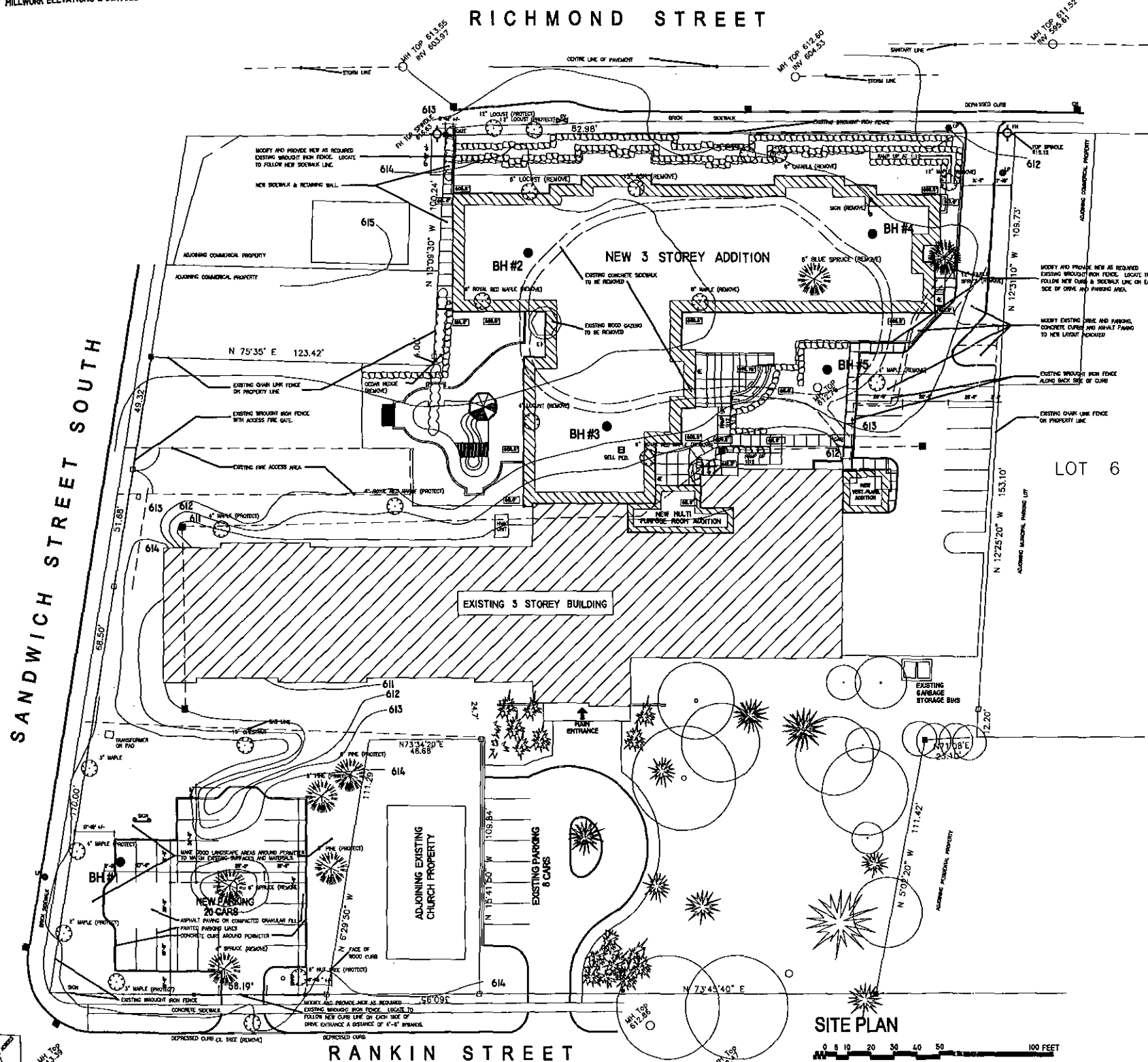
RICHMOND TERRACE L.T.C.F.
60 BED ADDITION - 98REP-10 - AND 12 BED RELOCATION
88 SANDWICH STREET
AMHERSTBURG, ONTARIO

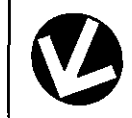
Scale	Date	Drawn	W.J.P.
1" = 30'-0"	02/04/00	78-00	

Title SITE PLAN

Drawing No. **AI**

NOT FOR CONSTRUCTION





SCHEDULE "C"

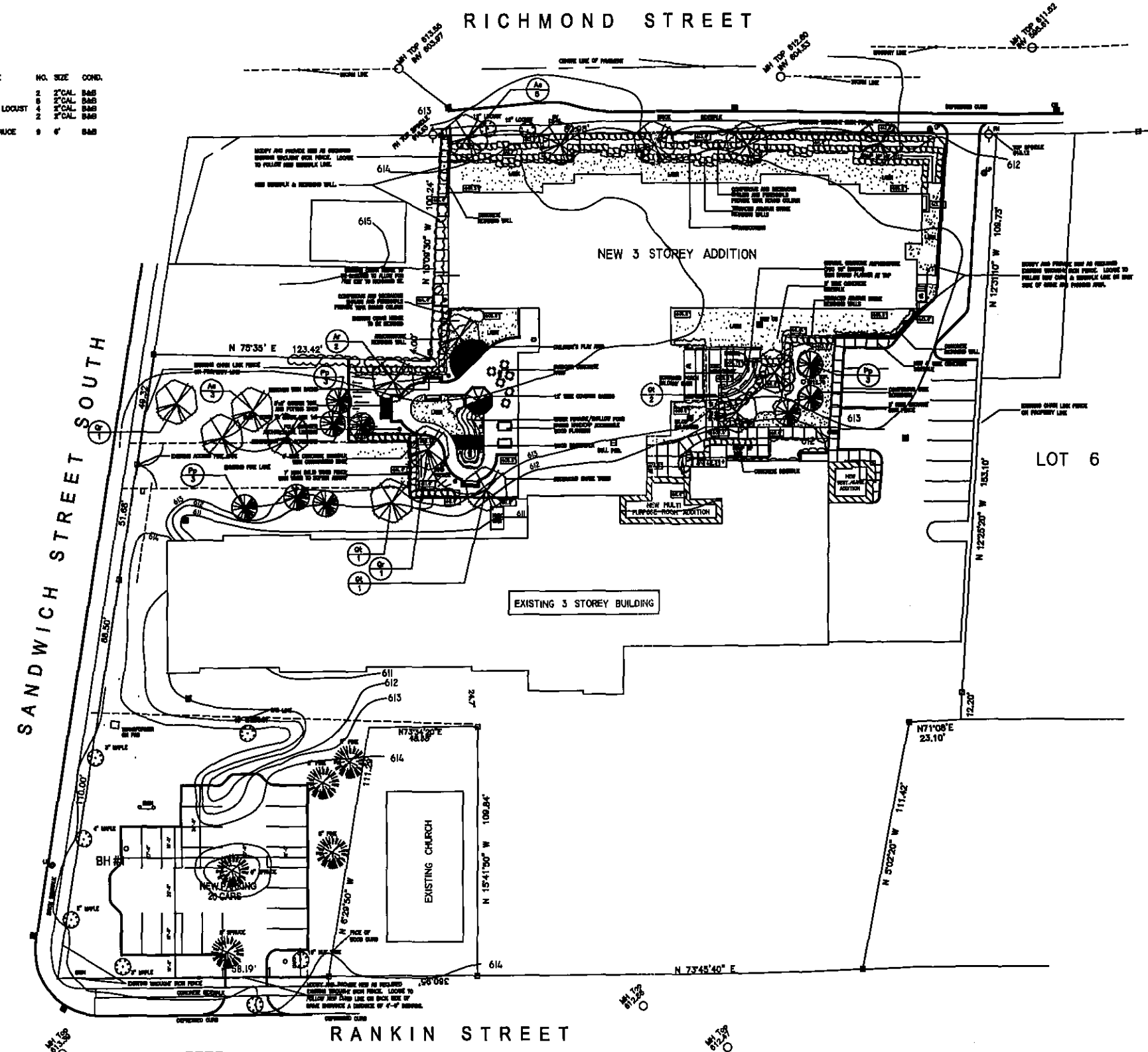
Norbert J. Schuller

Tony DiBartolomeo
Mayor

David Mailloux
Clerk

PLANT LIST

SYM	BOTANICAL NAME	COMMON NAME	NO.	SIZE	COND.
Ar	ACER RUBRUM	RED MAPLE	2	2" CAL	B&B
Am	ACER SACCHARINUM	SUGAR MAPLE	2	2" CAL	B&B
Qr	QUERCUS TINNANTHOS 'SHADMASTER'	SHADMASTER LOCUST	2	2" CAL	B&B
Qr	QUERCUS RUBRA	RED OAK	2	2" CAL	B&B
Pp	PICEA MURICATA	COLORADO SPRUCE	8	4"	B&B



L.	W/DA/DT	DESCRIPTION OF WORK	CONTRACTOR TO MAKE A CALL



RICHMOND TERRACE L.T.C.F.
 60 BED ADDITION - 88RFP-10 - AND 12 BED RELOCATION
 ON SANDWICH STREET
 LANDSCAPE PLAN

NOT FOR CONSTRUCTION
 A1a

General Notes and Specifications

- At least 48 hours prior to commencing construction on any existing road allowance maintained by the Town of Amherstburg, the Contractor is to obtain a Work Approval Permit from the Public Service Department or the Environmental Services Department.
- The Contractor shall construct temporary measures to control all entering the storm drainage system to the specifications outlined in the Guidelines on Erosion and Sediment Control for Urban Construction Sites prepared by the Ministry of Natural Resources. These measures are to be installed prior to commencing any construction for this project site, and are to remain in place until construction has been completed to the satisfaction of the Town Engineer.
- No foundation drain connections will be permitted into the sanitary sewers and no direct gravity connections from the foundation drains will be permitted to the storm sewer system unless the storm system has the capacity to provide for such connections to the satisfaction of the Town Engineer. Sump pumps shall be designed to storm drain connections.
- The structural design of sewers is based on the transition width unless otherwise noted.
- All work shall meet the minimum standards and specifications of the Town of Amherstburg Public Services Department. The Standard Contract Documents for Municipal Construction Projects as amended from time to time, are to be applied to this project, unless otherwise approved by the Town Engineer.
- The Contractor is to inform the Public Transit Commission at least four days prior to commencing construction on any street that is a bus route which will be disrupted by construction.
- Where any water service connection is required to be made following the construction of curb, gutter, sidewalk and/or existing surface coat of asphalt on any street for a new subdivision/development, such water service connection shall not be made using "open cut" methods but shall be made using drilling or boring techniques and in such a manner as to minimize the possibility of settlement of such curb, gutter, concrete sidewalk or existing surface coat of asphalt; it being understood that this policy shall apply except where, in the opinion of the Town Engineer, ground conditions are such that the use of drilling or boring methods become unreasonable or uneconomical.
- The Contractor is to notify the Public Service Division in writing at least 48 hours prior to commencing construction.
- The Owner shall have its Professional Engineer provide full-time inspection during construction and a Certificate of Completion of works upon completion of all works to be constructed on or any existing Town street or easement.
- The Owner shall have its Professional Engineer provide adequate inspection during construction and a Certificate of Completion of works upon completion of all works which are to be assumed.
- The Contractor is to meet all the requirements of the owners of the utilities on this plan, and must make satisfactory arrangements with the utility companies for crossing their installations and for providing adequate protection during construction.
- If common trench construction is to be used for the installation of storm and sanitary sewers on any street for which this project site, the same are to be constructed at least one foot behind the curb on that street, at the same time of installation of the sewers.
- All organic, unstable or unsuitable materials beneath the road allowances or house foundations must be removed and these areas backfilled with an approved fill material, all to the satisfaction of a geotechnical engineer.
- If a driveway is to be constructed in the approximate location of a sidewalk extension, the extension may be eliminated provided that the curb and gutter section for sidewalk ramps is used across the driveway in lieu of standard driveway curb and gutter.
- The specifications for the design of the streets in conjunction with this project site have been based on a twenty year life expectancy.
- Where adjacent manholes are located in close proximity to one another, the area between the adjacent manholes shall be backfilled in accordance with the specifications in the following table:

Distance Between Adjacent Manholes	Material
0.6m or less	concrete or crushed stone
0.6m to 2.4m	granular material
more than 2.4m	approved native material

The above-noted backfill shall be compacted to the standard Proctor density specified in the soils report, or as approved by the Town Engineer.
- The lids of all R/C's are to be installed so that the inlet grates are located entirely on one property, to avoid interference by fences.
- The following notes (a & b) shall apply for all multi-family, commercial and industrial blocks:

(a) The developers of the multi-family blocks shall make provisions for manholes to be located in paved areas or make alternative arrangements for access to these manholes, to the satisfaction of the Town Engineer at the time these blocks are developed.

(b) Sewage sampling manholes built to Town of Amherstburg standards, are to be provided for each individual commercial and industrial lot.
- All substitutions must be approved by the Town Engineer.
- All watermain construction shall conform to the current standards and specifications of the Town of Amherstburg Public Services Department.
- All concrete shall be 25 MPa in 28 days unless otherwise stated.
- The developer is responsible for:

(a) connecting any existing sewer or drain encountered during construction to a new sewer or into another existing sewer;

(b) ensuring that there is no interruption of any surface or subsurface drainage flow that would adversely affect neighbouring properties.
- Upon completion of sewer installation, the contractor is responsible for flushing and cleaning the sewers, catchbasins, and drains.
- No cut and fill earthwork calculations have been done.
- All proposed 150 to 375 sewer pipe to be PVC and all bedding shall be in accordance with the recommendations of the Geotechnical Engineer.
- In accordance with standard Town of Amherstburg specifications, the contractor is responsible for the control of surface and subsurface water.
- Straw bale filters shall be installed around catchbasins immediately upon installation in accordance with detail. Filters to remain in place until paving and/or seeding is complete.
- All curb on site shall be O.P.S.D. 600.11 barrier curb.
- Areas within the travelled portion of Richmond Street disturbed during watermain and sewer installations, shall be restored as follows:
 - granular "C" backfill compacted to 98% Proctor
 - 50mm granular "A" base compacted to 100% S.P.M.D.D.
 - 50mm H.B binder asphalt compacted to 97% Marshall Density
 - 40mm H.B sheet asphalt compacted to 97% Marshall Density

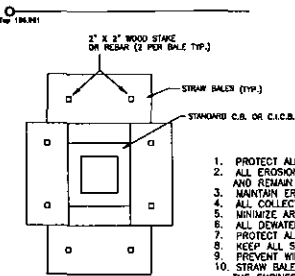
Restore boulevard with 100mm of topsoil & seed.
 Restore sidewalk with 100mm of granular "A" and 100mm of concrete.
 Restore curb & gutter to match existing.
- Recommended pavement structure for parking areas and existing lanes shall be as follows:
 - granular "C" backfill compacted to 98% Proctor
 - 200mm granular "A" base compacted to 100% S.P.M.D.D.
 - 50mm H.B.3 sheet asphalt compacted to 97% Marshall Density
 - sewcut existing asphalt prior to restoration

Legend

- DENOTES EXISTING GROUND ELEVATION
- x 44.32 - DENOTES PROPOSED SPOT ELEVATION
- x 85.13 - DENOTES PROPOSED GRADE ALONG WALLS
- DENOTES PROPOSED SWALE LOCATION & FLOW DIRECTION
- DENOTES PROPOSED DIRECTION OF SURFACE DRAINAGE
- PROPOSED STORM SERVICE
- CB 1 - PROPOSED CATCHBASIN
- PROPOSED SANITARY SERVICE
- PROPOSED WATERMAIN/SERVICE AND VALVE
- DENOTES EXISTING TREE

The Following Ontario Provincial Standard Drawings shall be used on this Project

- OPS-400.02 Catchbasin, cast iron, frame and flat square grate
- OPS-401.01 Maintenance hole, cast iron cover and square frame
- OPS-405.010 Maintenance hole steps - hollow
- OPS-405.020 Maintenance hole steps - solid
- OPS-800.01 Concrete barrier curb with wide gutter
- OPS-800.08 Concrete semi-malleable curb with standard gutter (curb cuts not required at driveway entrances)
- OPS-800.11 Concrete barrier curb
- OPS-608.01 Method of termination for curb & gutter
- OPS-701.010 Precast maintenance hole - 1200mm diameter
- OPS-701.021 Maintenance hole benching details
- OPS-701.030 Precast concrete maintenance hole components - 1200mm diameter
- OPS-705.010 Precast concrete catchbasin 800x600, depth - 4.0m max.
- OPS-708.01 Catchbasin connection rigid pipe sewer
- OPS-708.03 Catchbasin connection flexible pipe sewer

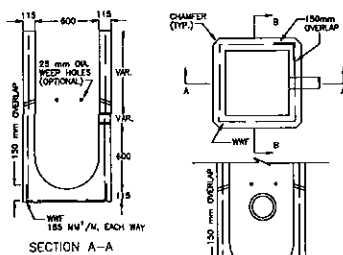


Straw Bale Filter PLAN VIEW NTS

SEDIMENT AND EROSION CONTROL NOTES

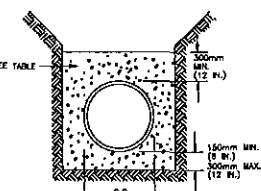
- PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
- ALL EROSION CONTROL MEASURES TO BE IN PLACE BEFORE STARTING CONSTRUCTION AND REMAIN IN PLACE UNTIL RESTORATION COMPLETE.
- MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION.
- ALL COLLECTED SEDIMENT TO BE DISPOSED OF AT AN APPROVED LOCATION.
- MINIMIZE AREA DISTURBED DURING CONSTRUCTION.
- ALL DRAINAGE TO BE DISPOSED OF IN AN APPROVED SEDIMENTATION BASIN.
- PREVENT ALL CATCHBASINS, MANHOLES AND PIPE ENDS FROM SEDIMENT INTRUSION.
- KEEP ALL SUMPS CLEAN DURING CONSTRUCTION.
- PREVENT WIND-BLOWN DUST.
- STRAW BALES TO BE USED IN LOCALIZED AREAS AS SHOWN AND AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION.

RANKIN STREET



600x600 Precast Concrete Catchbasin

- NOTES:
- WELDER WELLS IS PLACED ACROSS DITCH AND IS ACCESSIBLE TO VEHICULAR TRAFFIC. GRADING SHALL BE TO BE 1" ON FLAT.
 - ALL REINFORCING STEEL SHALL HAVE 25 mm MIN. COVER.
 - WELP HOLES, WHERE REQUIRED, SHALL BE PLACED 50 mm FROM THE BOTTOM OF THE WELPER ON THE WEDGE AND THE TOP OF THE WELPER ON THE OUTSIDE ARE SIDE.
 - GRANULAR BACKFILL TO BE PLACED TO A MIN THICKNESS OF 300 mm ON ALL SIDES.
 - ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.



NOTES:

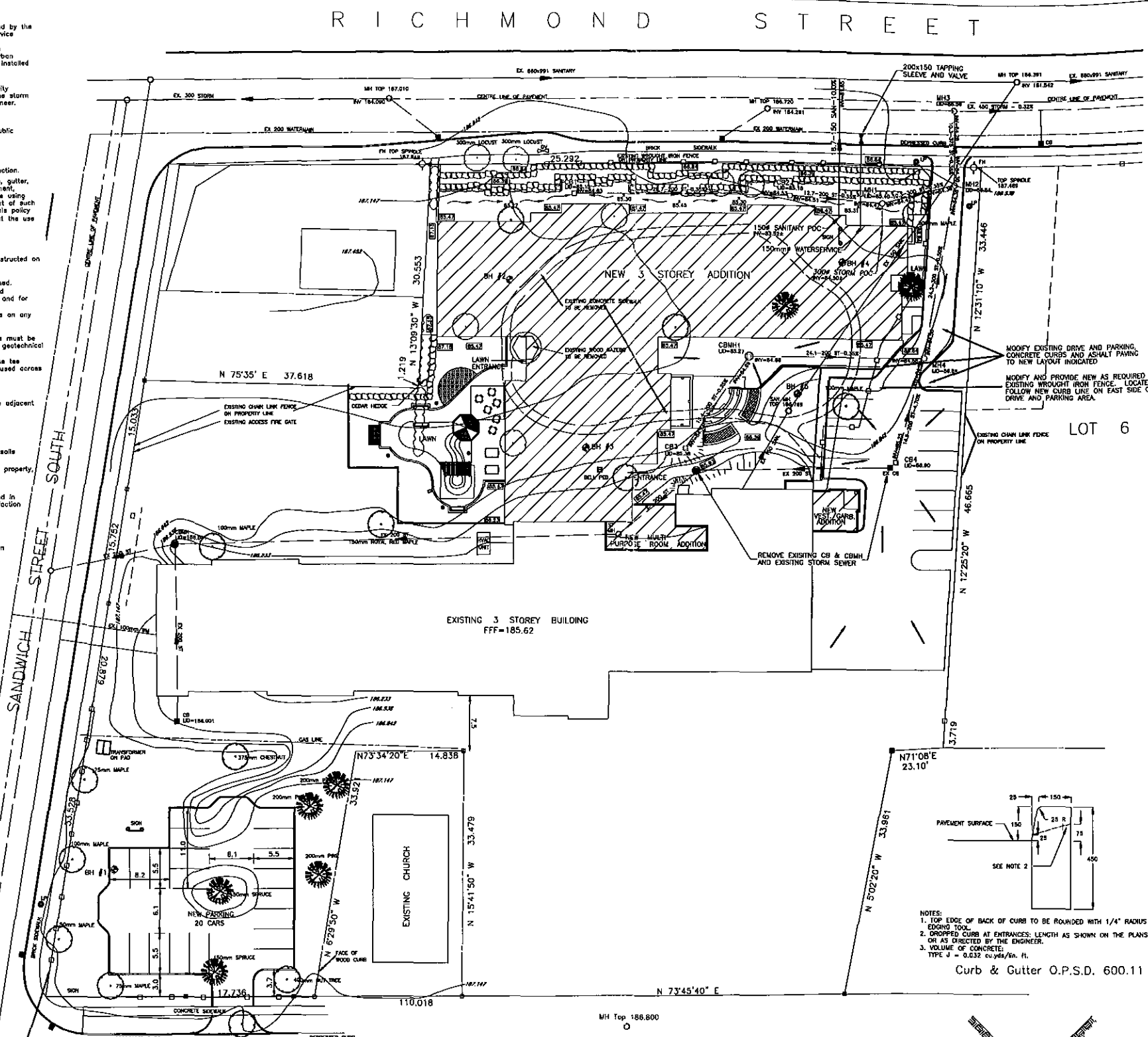
- TOP EDGE OF BACK OF CURB TO BE ROUNDED WITH 1/4" RADIUS.
- EDGING TOOL.
- GROUPED CURB AT ENTRANCES, LENGTH AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- VOLUME OF CONCRETE:
TYPE 1 = 0.632 cu.yds/lin. ft.

Curb & Gutter O.P.S.D. 600.11

DEPTH OF COVER OVER PIPE	SUBER BEDDING MATERIAL
TYPE - 1 TO 4.5 M (15 FT.)	Coarse sand, approved granular
TYPE - 2 TO 10.5 M (35 FT.)	Crushed stone

Bedding for Flexible Pipe

PRELIMINARY



development engineering
CONSULTANT

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Architect

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RICHMOND TERRACE L.T.C.F.
60 BED ADDITION - 98RFP-10 - AND 12 BED RELOCATION

68 RANKIN STREET

SITE SERVICING & GRADING PLAN

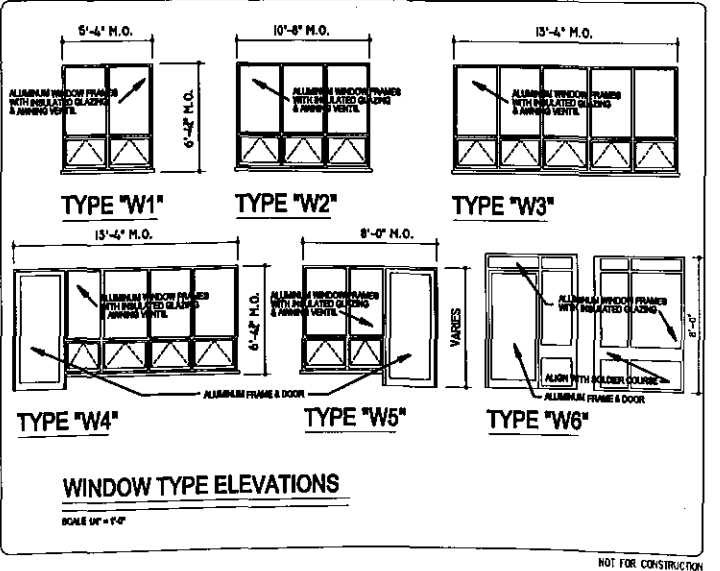
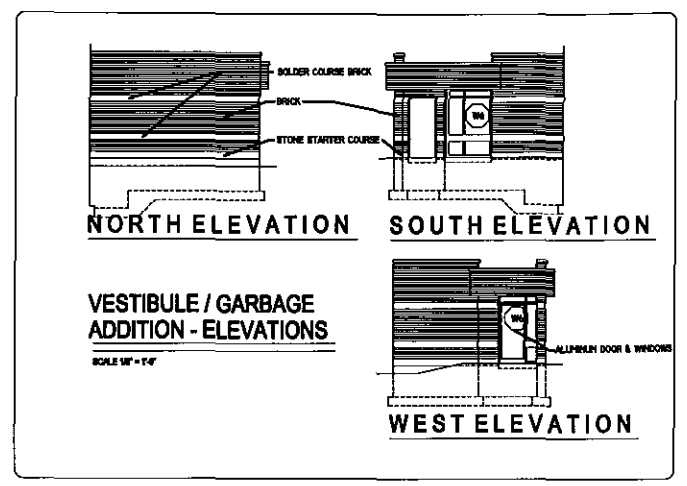
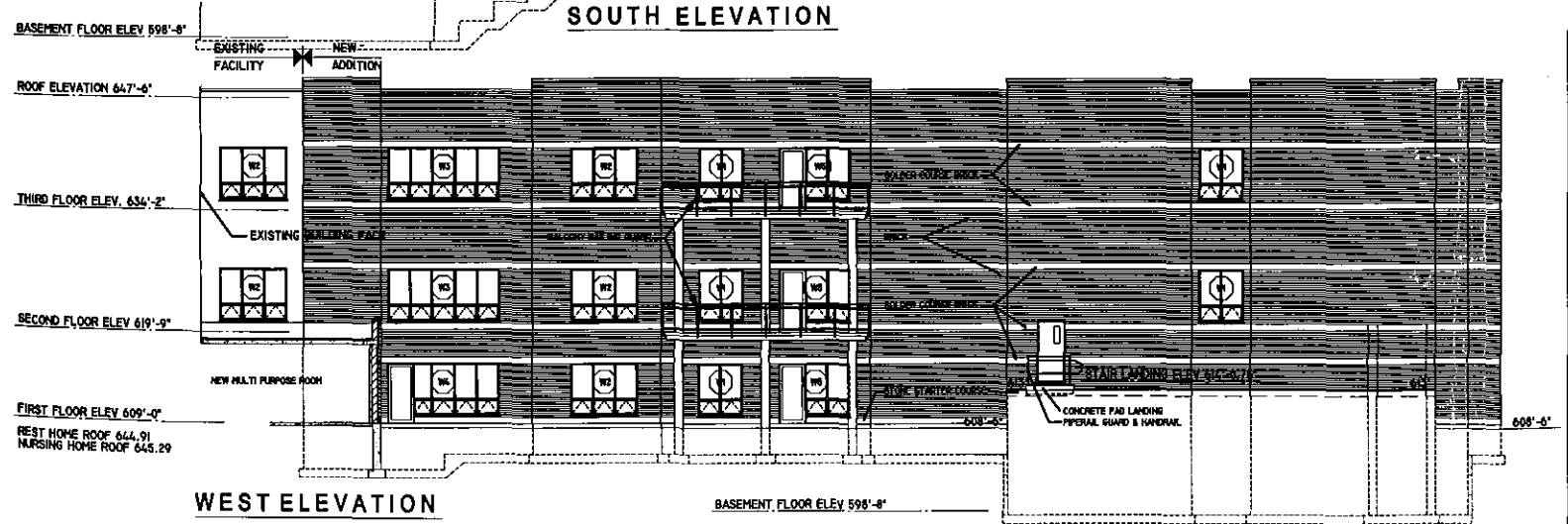
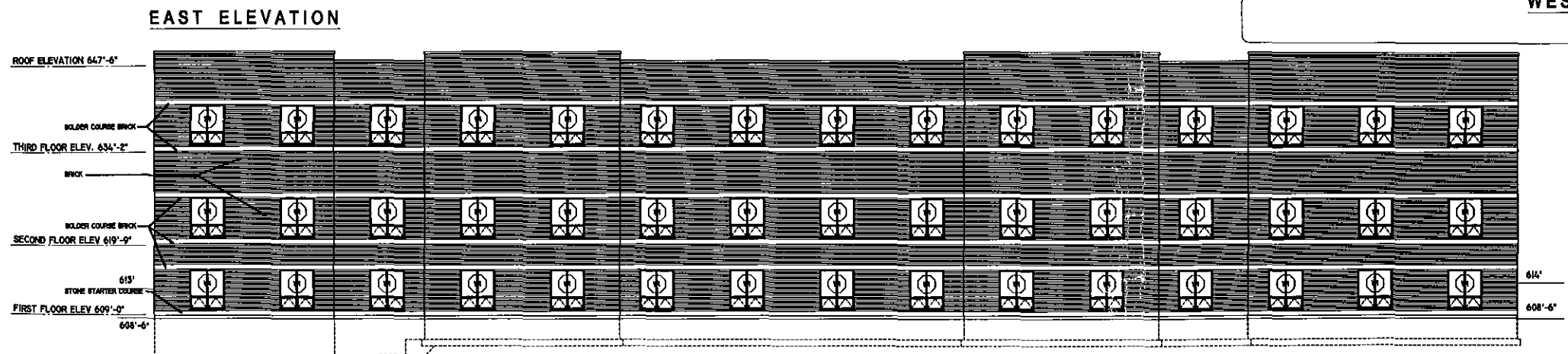
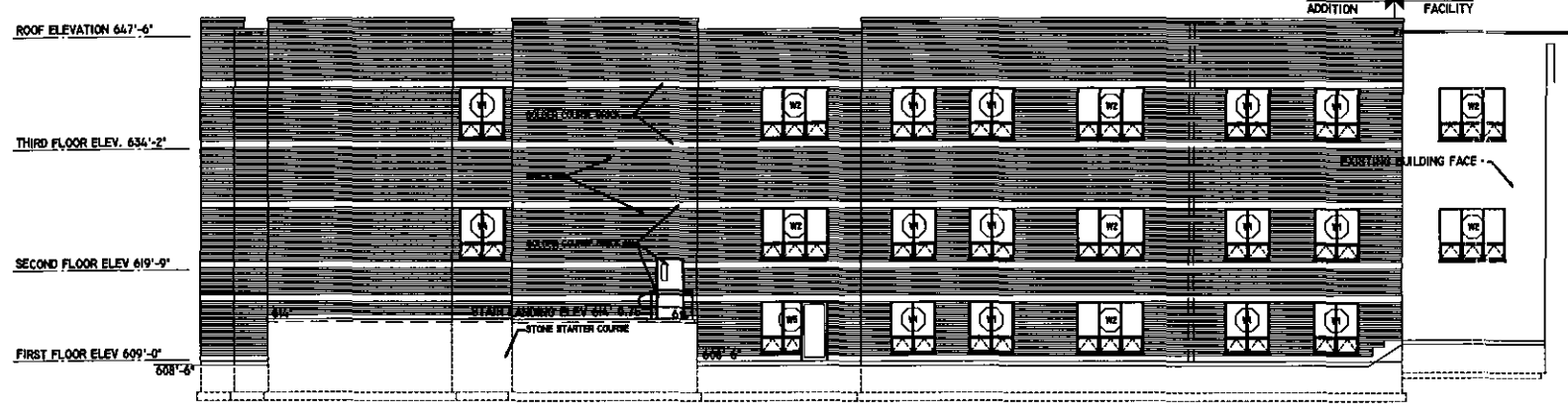
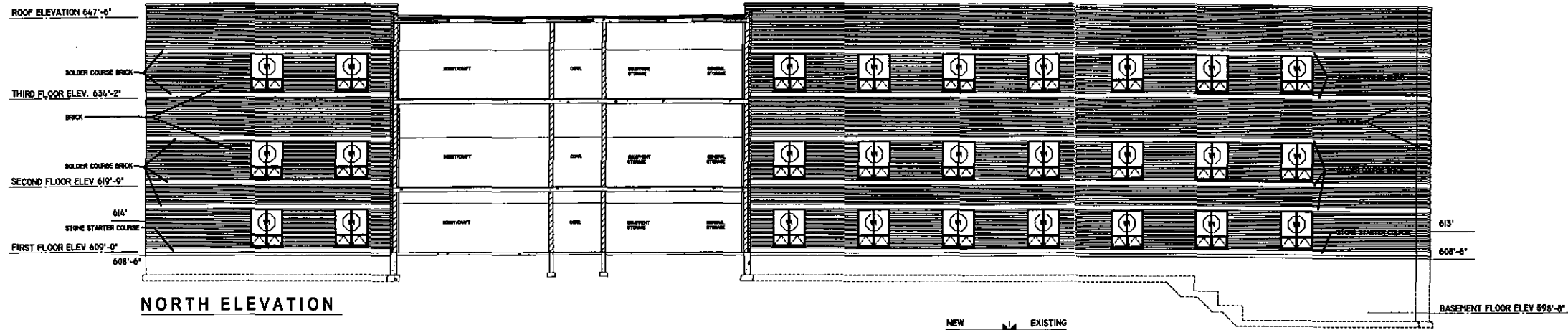
Drawing No. **AIB**

SCHEDULE "D"

Norbert J. Schuller

Tony DiBartolomeo
Mayor

David Mailloux
Clerk



15/04/01 SUBMISSION OF WORK DRAWINGS TO B.O.C. & C.A.O.

Richmond Terrace L.T.C.F.
60 BED ADDITION - 88RFP-10 - AND 12 BED RELOCATION

Norbert J. Schuller
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88 TAMMOR STREET
LUNenburg ONT.
Date: 04/06/00
Scale: 1/4" = 1'-0"
Drawn: W.J.F.
7/1-00

Drawing No. **A6**

SCHEDULE "E"

Norbert J. Schuller

Tony DiBartolomeo
Mayor

David Mailloux
Clerk

ELEVATIONS
SCALE 1/4" = 1'-0"

NOT FOR CONSTRUCTION