

**THE CORPORATION OF THE TOWN OF AMHERSTBURG
BY-LAW NO. 2022-024**

**By-law to authorize the execution of an Amending Development Agreement
between Mikhail Holdings and
the Corporation of the Town of Amherstburg
83 Sandwich Street South, Amherstburg**

WHEREAS under Section 8 of the Municipal Act 2001, S.O., 2001, c. 25, as amended, a Corporation has the capacity, rights, powers and privileges of a natural person for the purpose of exercising its authority under this or any other Act.

AND WHEREAS under Section 9. (1) (a) and (b) of the Municipal Act 2001, S.O., 2001, c. 25, as amended, Section 8 shall be interpreted broadly so as to confer broad authority on municipalities to enable them to govern their affairs as they consider appropriate and to enhance their ability to respond to municipal issues;

AND WHEREAS the Corporation passed By-law 2003-20 on March 10, 2003 providing for the execution of a Development Agreement for a supermarket on the subject property;

AND WHEREAS the Corporation passed By-law 2019-031 on May 13, 2019 providing for the execution of an Amending Development Agreement for the redevelopment of 83 Sandwich Street South for the addition of a fast food restaurant with drive-thru on the subject property;

AND WHEREAS the Corporation of the Town of Amherstburg and owners of said property have agreed to the terms and conditions of a further Amending Development Agreement in the form annexed hereto;

NOW THEREFORE the Corporation of the Town of Amherstburg enacts as follows:

1. THAT the Mayor and Clerk be hereby authorized to enter into an Amending Development Agreement between Mikhail Holdings and the Corporation of the Town of Amherstburg for the redevelopment of 83 Sandwich Street South for an addition to the existing supermarket building, said agreement affixed hereto;
2. THAT this By-law shall come into force and take effect immediately upon the final passing thereof at which time all by-laws that are inconsistent with the provisions of this by-law and the same are hereby amended insofar as it is necessary to give effect to the provisions of this by-law.

Read a first, second and third time and finally passed the 14th day of March, 2022.



MAYOR – ALDO DICARLO



CLERK – VALERIE CRITCHLEY

Properties

PIN 70553 - 0101 LT
Description PT LT 10 E/S SANDWICH ST, 11 E/S SANDWICH ST, 12 E/S SANDWICH ST, 13 E/S SANDWICH ST, 14 E/S SANDWICH ST, 15 E/S SANDWICH ST PL 6 AMHERSTBURG AS IN R1334995; DESCRIPTION MAY NOT BE ACCEPTABLE IN FUTURE AS IN R1505424; AMHERSTBURG; S/T EASEMENT AS IN CE300556
Address 130 FORT STREET
 AMHERSTBURG

PIN 70553 - 0282 LT
Description PT LOT 2, PLAN 240 AS PT 1 ON 12R14490; AMHERSTBURG; S/T EASEMENT AS IN CE300556
Address AMHERSTBURG

Consideration

Consideration \$1.00

Applicant(s)

The notice is based on or affects a valid and existing estate, right, interest or equity in land

Name MIKHAIL HOLDINGS LIMITED
Address for Service 100 Ouellette Avenue
 Windsor, ON N9A 6T3

A person or persons with authority to bind the corporation has/have consented to the registration of this document.

This document is not authorized under Power of Attorney by this party.

Party To(s)*Capacity**Share*

Name THE CORPORATION OF THE TOWN OF
 AMHERSTBURG
Address for Service 271 Sandwich Street
 Amherstburg, ON N9V 2A5

This document is being authorized by a municipal corporation Melissa Osborne, Director, Development Services.

This document is not authorized under Power of Attorney by this party.

Statements

This notice is pursuant to Section 71 of the Land Titles Act.

This notice is for an indeterminate period

Schedule: See Schedules

This document relates to registration number(s)CE265

Signed By

Thomas Robert Porter 200-525 Windsor Avenue acting for Signed 2022 04 12
 Windsor Applicant(s)
 N9A 1J4

Tel 519-258-1236

Fax 519-977-1173

I have the authority to sign and register the document on behalf of the Applicant(s).

Submitted By

MOUSSEAU DELUCA MCPHERSON PRINCE 200-525 Windsor Avenue 2022 04 12
 Windsor
 N9A 1J4

Tel 519-258-1236

Fax 519-977-1173

Fees/Taxes/Payment

Statutory Registration Fee \$66.30

Total Paid \$66.30

The applicant(s) hereby applies to the Land Registrar.

File Number

Applicant Client File Number : 66592
Party To Client File Number : 2002-024

AMENDING DEVELOPMENT AGREEMENT

THIS AGREEMENT made in quadruplicate this 14th day of March, 2022.

BETWEEN:

MIKHAIL HOLDINGS

(hereinafter collectively called "**Owner**")

OF THE FIRST PART;

- and -

THE CORPORATION OF THE TOWN OF AMHERSTBURG

(hereinafter called the "**Corporation**")

OF THE SECOND PART;

Hereinafter collectively referred to as the "**Parties**"

WHEREAS the lands affected by this Agreement are described in Schedule "A" attached hereto, and are hereinafter referred to as the "**said lands**";

AND WHEREAS the Owner warrants it is the registered owner of said lands;

AND WHEREAS, in this Agreement the "**Owner**" includes an individual, an association, a partnership or corporation and, wherever the singular is used therein, it shall be construed as including the plural;

AND WHEREAS the Official Plan in effect in Amherstburg designated parts of the area covered by the Official Plan, including the Lands, as a Site Plan Control area;

AND WHEREAS the Corporation passed By-law 2003-20 on March 10, 2003 providing for the execution of a Development Agreement for a supermarket on the subject property;

AND WHEREAS the Corporation passed By-law 2019-031 on May 13, 2019 providing for the execution of an Amending Development Agreement to allow for the addition of a fast food restaurant with drive-thru on the subject property;

AND WHEREAS the Owner intends to develop the said lands by constructing an addition to the existing building attached hereto as Schedule "N", and hereinafter referred to as the "Amended Site Plan";

AND WHEREAS the Corporation as a condition of development or redevelopment of the said lands requires the Owner to enter into a Development Agreement;

AND WHEREAS the Corporation as a condition of development of the Lands requires the Owner to enter into a Development Agreement, as per By-Law 2018-51 with respect to any or all of the items contained within Section 41 of the Planning Act, R.S.O., 1990, as amended (the "Act");

NOW THEREFORE the Parties Hereto Agree to Further Amend the Agreement dated March 10, 2003, as follows:

1. Section 1 is hereby amended by adding the following schedules:

Schedule "N"-	Amended Overall Site Plan, Drawing No. A-1.0
Schedule "O"-	Elevations, Drawing A-4.0 and A-4.1
Schedule "P"-	Stormwater Management Report dated February 16, 2022
Schedule "Q"-	Traffic Impact Statement Letter

2. Section 33 is hereby replaced by the following:

"A financial guarantee (certified cheque or irrevocable letter of credit – self renewing without burden of proof) for FIFTY PERCENT (50%) of the value of on-site improvements of this development, exclusive of buildings and structures, is required to be paid and/or posted with the Corporation, in addition to further financial security in the amount of ONE HUNDRED PERCENT (100%) for all off-site works required as part of this development.


The Owner's engineer is required to provide a certified estimate of the cost of the on-site and off-site work for consideration by the Town's Director of Engineering and Infrastructure for his/her approval, with any decision by the Town's Director of Engineering and Infrastructure in this regard to be final and binding upon the Owner.

Once the Town has received a letter of conformance from the design engineer indicating that all site works, including landscaping, lighting etc. have been installed as per the approved site plans and said installation and inspected and approved the construction of the on-site and off-site works, the Owner will be required to provide security for a ONE (1) year maintenance period in the amount of FIFTEEN PERCENT (15%) of the cost of on-site and off-site improvements."

3. In all other respects the said Development Agreement dated March 10, 2003 and Amending Development Agreement dated May 13, 2019, shall remain in full force and effect.
4. This Agreement shall enure to the benefit of, and be binding upon the parties hereto, and their respective heirs, executors, administrators, successors and assigns.

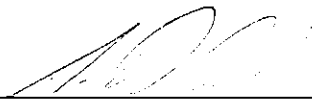
IN WITNESS WHEREOF the Owner and the Corporation (the latter under the hands and seals of its officers duly authorized in this regard), have executed this Agreement as of the date first above written.

OWNER: MIKHAIL HOLDINGS

Per  _____
Joseph Mikhail

I have authority to bind the Corporation

**THE CORPORATION OF THE
TOWN OF AMHERSTBURG**

Per  _____
Aldo DiCarlo, Mayor

Per  _____
Valerie Critchley, Clerk

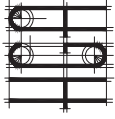
We have authority to bind the Corporation

Authorized and approved by By-law
No. 2022-024 enacted the 14th day of
March, 2022.

SCHEDULE "A"

The following is a description of the land to which this instrument applies.

Part of Lots 10-15, Plan 6,
Part of Lots 2, Plan 240
Designated as Part 1 on 12R-14490
Town of Amherstburg,
County of Essex
and Province of Ontario



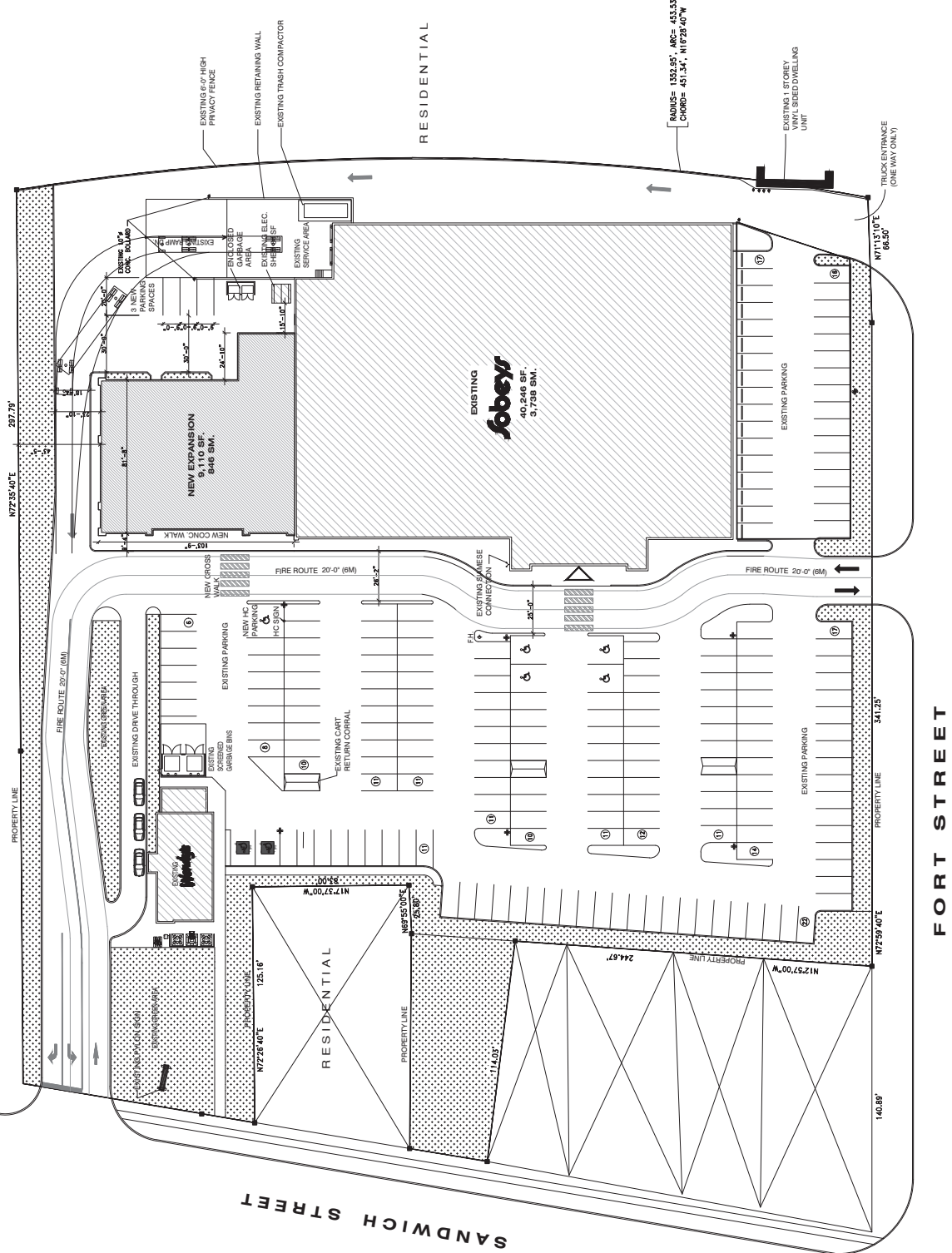
**HANNA CHOBRIAL
AND ASSOCIATES LTD.**
architectural
3100 Temple Drive
Windsor, ON N9W 5J6
(519) 940-5757 FAX: 5666

ITEM	REQUIREMENT	PROPOSED/PROVIDED
ZONING DATA	83 SANDWICH STREET	
ZONING	CG12 COMMERCIAL GENERAL	
EXISTING USES ON SITE	SUPER MARKET (SOBEY'S)	
BUILDING ADDITION USE	RETAIL STORES, FAST FOOD RESTAURANT, (WENDY'S) DRIVE THROUGH	
LOT AREA	106,226 SQ. FT.	
FRONT YARD	9M (19.6FT)	29.3M (94'-11") (AT WENDY'S)
REAR YARD (MIN)	7.0M (23.0')	7.5M (24.6')
BUILDING HEIGHT (MAX)	10M (32.8')	6.7M (22'-2") (AT SOBEY'S) 5.2M (17'-1") (NEW ADDITION)
LOT COVERAGE		PROPOSED ADDITION: 9,110 SF TOTAL: 10,000 SF 91.85% / 104.22% - 26.03%
NUMBER OF STORES	1	1
EXTERIOR SIDE YARD DEPTH (MIN)	3M FRONT FORT STREET	3M
LOADING SPACE REQUIRED	1	2
MINIMUM NUMBER OF PARKING SPACES	100	100 INCLUDING 10 BARBER FREE PARKING SPACES

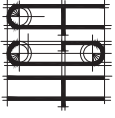
NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. THE DRAWING IS INTENDED TO BE USED AS A GUIDE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE SITE TO ORIGINAL OR BETTER CONDITION AFTER CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY UTILITY CONNECTIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY FENCING AND SECURITY MEASURES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY SIGNAGE AND MARKING.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY DRAINAGE AND EROSION CONTROL MEASURES.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY LIGHTING AND ELECTRICAL SYSTEMS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY HEATING, VENTILATION, AND AIR CONDITIONING SYSTEMS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY PEST CONTROL MEASURES.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY FIRE PROTECTION MEASURES.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY SAFETY MEASURES.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY ACCESSIBILITY MEASURES.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY SOUND AND VIBRATION MEASURES.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY AIR QUALITY MEASURES.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY WATER QUALITY MEASURES.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY SOIL QUALITY MEASURES.

No.	Date	Issued For
1	21/09/20	CLIENT REVIEW
2	21/10/20	SITE PLAN APPROVAL

Drawn By: R.J.
Checked By: R.J.
Project Title: 83 SANDWICH STREET BUILDING ADDITION
Project No.: 21-04-27
Sheet Title: SITE PLAN
Sheet No.: A-1.0



SITE PLAN
SCALE: 1"=30'-0"



**HANNA GHOBRIAL
AND ASSOCIATES LTD.**
engineers
architects
3100 Temple Drive
Windsor, ON N8W 5J9
(519) 942-5713 FAX: 5066

NOTE:
1. THIS DRAWING IS THE PROPERTY OF HANNA GHOBRIAL AND ASSOCIATES LTD. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HANNA GHOBRIAL AND ASSOCIATES LTD. ANY UNAUTHORIZED USE OF THIS DRAWING IS PROHIBITED AND WILL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ETHICS OF ALL REGISTERED PROFESSIONALS IN THE PROVINCE OF ONTARIO.
2. THE DRAWING IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HANNA GHOBRIAL AND ASSOCIATES LTD. ANY UNAUTHORIZED USE OF THIS DRAWING IS PROHIBITED AND WILL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ETHICS OF ALL REGISTERED PROFESSIONALS IN THE PROVINCE OF ONTARIO.

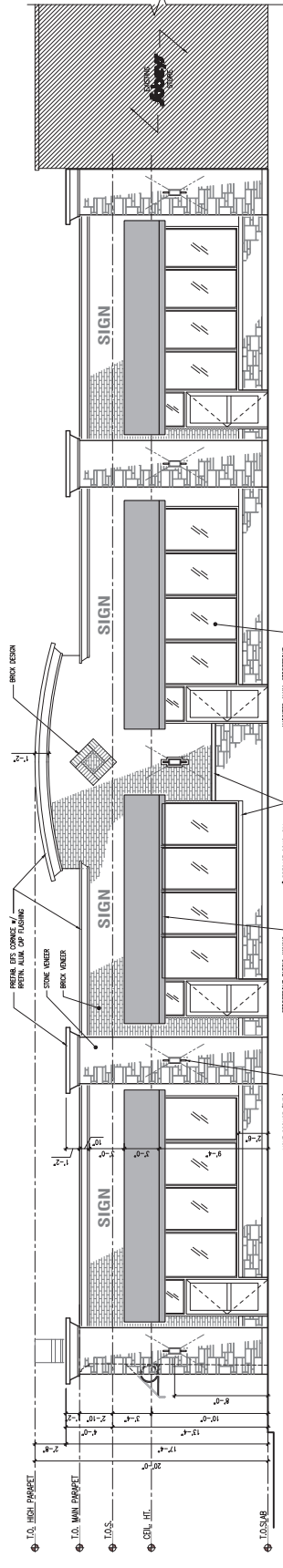
No.	Date	Issued For
1	21/10/2021	SITE PLAN APPRO.
2	17/11/2021	TY/AM/03
Date: OCTOBER, 2021		
Drawn By: R.Z./H.R.		
Checked By: R.J.		
Project Title:		

83 SANDWICH STREET
BUILDING ADDITION

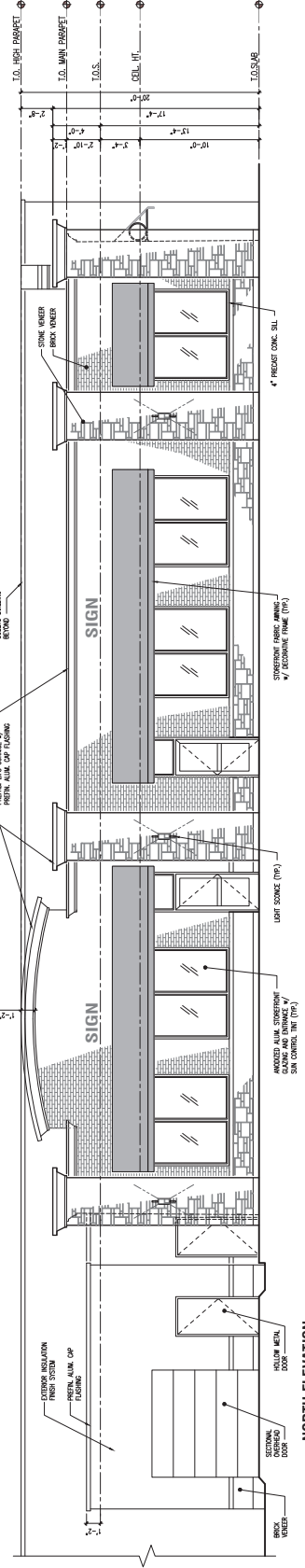
AMHERSTBURG, ONTARIO
Project No. 21-0427

Sheet Title:
ELEVATIONS

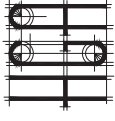
Sheet No.:
A-4.0



WEST ELEVATION
SCALE: 3/16" = 1'-0"



NORTH ELEVATION
SCALE: 3/16" = 1'-0"



**HANNA GHORBRIAL
AND ASSOCIATES LTD.**
engineers
architects
3100 Temple Drive
Mississauga, ON M4W 5J6
(905) 847-9773 FAX: 5666

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ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
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ALL DIMENSIONS, SPECIFICATIONS AND OTHER RELATED INFORMATION SHALL BE RETURNED TO THE COMPANY UPON COMPLETION OF THE PROJECT.
NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE COMPANY.
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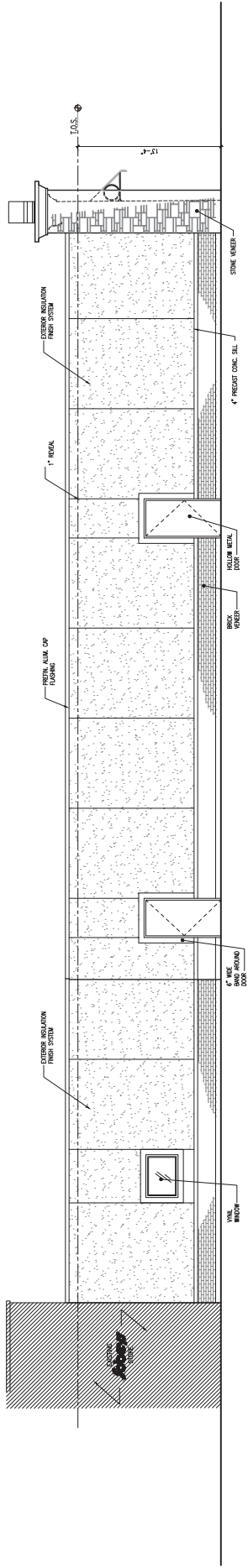
21/10/05 SITE PLAN APPRO.
No. Date: Issued For:
Date: OCTOBER 2021
Drawn By: R.Z./H.R.
Checked By: R.J.
Project Title:

83 SANDWICH STREET
BUILDING ADDITION
AMHERSTBURG, ONTARIO

Project No. 21-0427
Sheet Title:

ELEVATIONS

Sheet No. A-4.1



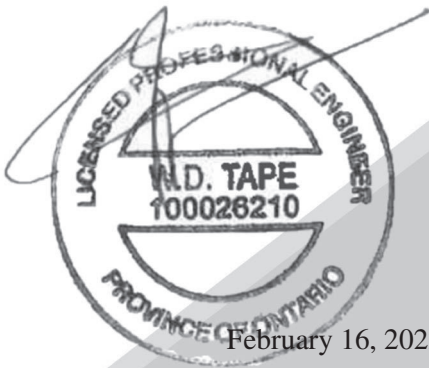
SOUTH ELEVATION
SCALE 3/8" = 1'-0"





Stormwater Management Report
PROPOSED SOBEY EXPANSION

Our Project No. 21-A189



February 16, 2022

William Tape, Ph.D., P.E., P.Eng.
Senior Engineer

SUBMITTED TO:

The Municipality of the Town of Amherstburg

The principal objective of this report is to provide storage assessments supporting the storm water management requirements to be designed for the proposed industrial development expansion within Lakeshore.

Available Infrastructure

The proposed site will employ the infrastructure and original drainage boundaries defined by HGS and HMA (Haddad, Morgan and Associates Ltd.) based on various record drawings.

Storm Network and Appurtenances

Current Conditions

The current site is a developed commercial complex predominately covered with building and parking infrastructure. The proposed building expansion location is currently a granular and partially paved area resulting in a limited change in runoff for the proposed.

Proposed Development

The proposed development will impact the current SWM by introducing the following:

- Increased building footprint
- Increased hard surface around the proposed facility

Lowest Opening

The Lowest opening of the proposed will be based on the existing floor elevations. No adjustments can be made due to existing building envelopes and the proposed condition is maintained.

Stormwater Management Assessment

Given the size of the project area is less than 2Ha, per the Windsor/Essex Regional Stormwater Management Standards Manual modelling for the site was not required; therefore, the Rational Method was applied following the Manual's requirements.

Runoff Control

To assess the runoff allowance for the existing area the pre-development runoff was assessed and found to be 66 L/S for a minor (5 year event).

Stormwater Management Approach

As the existing site has been assessed for SWM in the past and subsequently approved by the Municipality the focus of our investigation was to established required changes accounting for shifts in the SWM protocols.

As noted in the previous section our office maintained the original release rate accepted to under site plan control agreement and applied it for this work. Any changes, or affected volumes of water will be accounted for via new storage volumes of equal or better size.

Storage Requirements

The required storage for the site has been calculated based on section 3.3.2.1 of Windsor/Essex Regional Stormwater Management Standards Manual. The storage depth is calculated to be 105 mm (D soils), therefore accounting to a 100-year C value of 0.972. Based on this information an accounting for the increase in storm intensity on the property due to climate change the proposed modifications will mandate an increase in total volume on site of **28.78 CM**. In addition to this volumes already present on the site.

Outlet Location for Project Site.

The proposed area will outlet into the storm system introduced during the Wendy's expansion as designed by our office.

Maintenance

Maintenance of the system shall be per the chamber suppliers and pump suppliers recommendations with regular system maintenance such as flushing done in accordance with standard industry practice.

Overland Flow

Given the present of the curbing done during previous works and the extension the off water will be conveyed towards the right of way during flood conditions exceeding the 1 in 100 year event.

Closing

The design provided herein shall ensure that the proposed stormwater system for this site will be able to accommodate the proposed developments to the site. Should you have any questions or comments regarding this report please feel free to Contact our office.

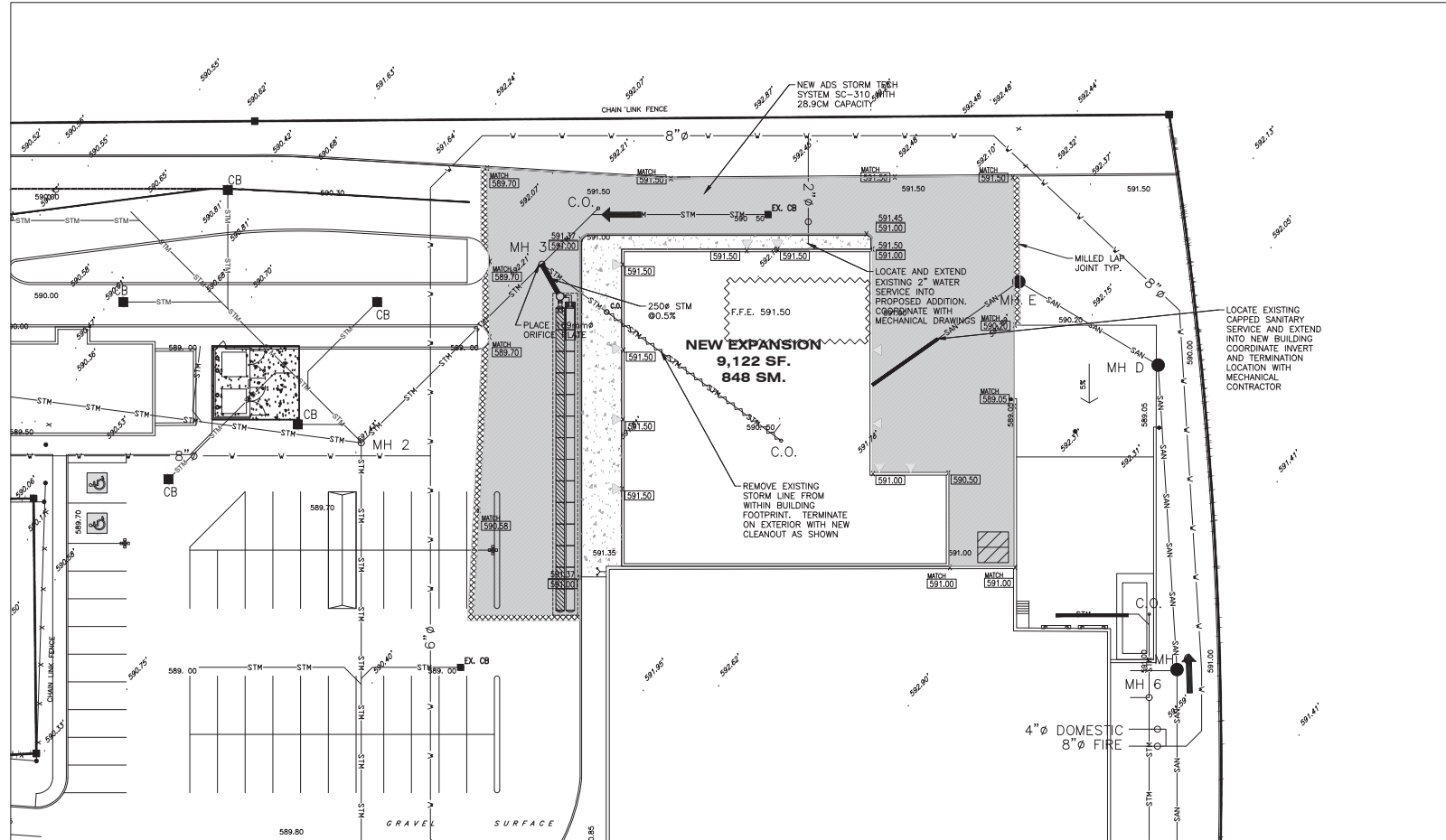
Appendix A
Site Drawings

GENERAL NOTES:

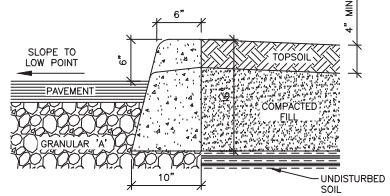
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND FIELD CONDITIONS. IN THE EVENT DIMENSIONS OR FIELD CONDITIONS VARY FROM DESIGN DRAWINGS, THE ENGINEER SHALL BE NOTIFIED.
- THE LOCATION OF UTILITIES AS SHOWN ON THIS DRAWING ARE NOT CERTIFIED AS TO LOCATION. THE ONUS LIES UPON THE TENDERER (AND AFTER ACCEPTANCE OF TENDER, UPON THE CONTRACTOR) TO ASCERTAIN AT HIS OWN EXPENSE THE EXACT LOCATION OF EACH UTILITY. NO EXTRA OR CLAIM FOR COMPENSATION WILL BE ALLOWED IF IT IS DISCOVERED THAT ANY UTILITY IS ACTUALLY LOCATED ON THE SITE AND IS IN CONFLICT WITH THE PROPOSED WORKS.
- THE CONTRACTOR ASSUMES FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES FOR LOCATES AND TO REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED TO THESE UTILITIES OR TO OTHER THIRD PARTIES ARISING OUT OF ANY ACT OR NEGLIGENCE BY THE CONTRACTOR, OR ANYONE ACTING UNDER HIS AUTHORITY, DURING THE COURSE OF WORK. THE CONTRACTOR AGREES TO INDEMNIFY THE GREATER ESSEX COUNTY DISTRICT SCHOOL BOARD AND HADDAD, MORGAN AND ASSOCIATES LTD. AGAINST THE CONTRACTOR'S ACTIONS.
- ALL SIGNS, BARRICADES, FENCES AND LIGHTS SHALL BE MAINTAINED BY THE CONTRACTOR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR AND HIS WORKERS SHALL UNDERTAKE ALL WORK ON THIS PROJECT IN COMPLIANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS, ONT. REG. 213/91 AS AMENDED.
- ALL WORK SHALL CONFORM TO AMHERSTBURG SPECIFICATIONS AND/OR REQUIREMENTS.
- ALL DIMENSIONS SHOWN ON THE PLAN ARE IN IMPERIAL UNITS.
- SURFACE SHALL BE SHAPED TO THE SPECIFIED GRADE AND CROSS SECTION AND HEAVILY PROOF-ROLLED TO DETERMINE THE PRESENCE OF ANY SOFT SPOTS IN THE PRESENCE OF A GEOTECHNICAL ENGINEER.
- ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM SITE.
- GRANULAR BASE SHALL BE GRANULAR "A" MATERIAL CONFORMING TO OPSS 1010, MECHANICALLY COMPACTED TO 100% S.P.M.D.D. BASE THICKNESS SHALL BE AS SHOWN.
- CONCRETE FOR BARRIER CURBS, SIDEWALKS AND DRIVEWAYS SHALL HAVE A COMPRESSIVE STRENGTH OF 32 MPa @ 28 DAYS WITH 6% TO 8% AIR ENTRAINMENT.
- THE CONTRACTOR SHALL SUPPLY, PLACE AND COMPACT HOT-MIX, HOT-LAID ASPHALTIC CONCRETE IN ACCORDANCE WITH OPSS 310 "HOT MIX ASPHALT".
- SURFACE COURSE ASPHALT SHALL BE HL3 AND BASE COURSE ASPHALT SHALL BE HL4. ASPHALTIC MIXTURES SHALL BE MANUFACTURED IN ACCORDANCE WITH THE REQUIREMENTS OF OPSS 1150.
- PAVEMENT MARKINGS SHALL BE PLACED ON A CLEAN SURFACE. TRAFFIC PAINT SHALL BE WATER BASED LATEX TRAFFIC PAINT YELLOW IN COLOUR. GATES TO BE TURNED OVER TO THE BOARD. UNCOATED REMOVED FENCING IS THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OFF SITE.
- PROVIDE ALL CONCRETE PAVED SURFACES, SIDEWALKS, AND DRIVES WITH CRYSTAL-LOCK BY IMCO.

SEDIMENT CONTROL MEASURES:

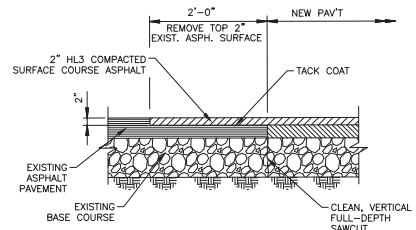
- THE CONTRACTOR SHALL PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO STARTING CONSTRUCTION AND MUST REMAIN IN PLACE UNTIL RESTORATION IS COMPLETE.
- THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION.
- ALL COLLECTED SEDIMENT SHALL BE DISPOSED OF AT AN APPROVED LOCATION.
- AREA DISTURBED DURING CONSTRUCTION SHALL BE KEPT TO A MINIMUM.
- ALL DE-WATERING SHALL BE DISPOSED OF IN AN APPROVED SEDIMENTATION BASIN.
- THE CONTRACTOR SHALL PROTECT ALL CATCHBASINS, MANHOLES AND PIPE ENDS FROM SEDIMENT INTRUSION WITH FILTER CLOTH OR OTHER APPROVED METHOD.
- ALL SUMP'S SHALL BE KEPT CLEAN DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PREVENT WIND-BLOWN DUST.
- STRAW BALES ARE TO BE USED DURING CONSTRUCTION, AS REQUIRED.



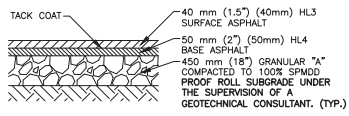
MAXIMUM JOINT SPACING:
TYPICALLY 16"; 10" ON CIRCULAR SECTION WITH RADIUS LESS THAN 30'



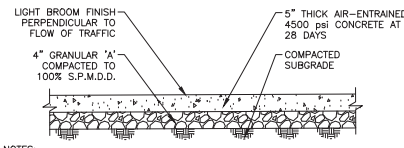
6" HIGH CONCRETE CURB
NOT TO SCALE



LAP JOINT
NOT TO SCALE



PARKING LOT PAVEMENT
NOT TO SCALE



CONCRETE SIDEWALK
NOT TO SCALE

NOTES:

- CONTRACTION JOINTS SHALL BE SPACED AT 5'-0" MAXIMUM INTERVALS.
- EXPANSION JOINTS SHALL BE PREMOULDED FILLER, SPACED AT A MAXIMUM OF 20'-0" O.C. AND SHALL BE PROVIDED WHERE THE WALK ABUTS EXISTING STRUCTURES, BEGINNING AND END OF RADI AND WHERE WALK ABUTS EXISTING CONCRETE.

ALL MEASUREMENTS SHOWN ON THIS DRAWING ARE IMPERIAL UNLESS MENTIONED OTHERWISE.

SITE BENCHMARK:

NO SITE BENCHMARK.

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE FOLLOWING DRAWINGS:

- TOPOGRAPHIC SURVEY AND ORIGINAL PROPERTY DESIGN
- ARCHITECTURAL SITE PLAN
- MECHANICAL SITE PLAN

DATE	ISSUED FOR
------	------------

PROJECT :	SOBEY'S EXPANSION
-----------	-------------------

DWG. TITLE :	SITE GRADING, GENERAL NOTES AND GENERAL DETAILS
--------------	---

DATE :	AUGUST 2021
SCALE :	1"=20' UNO
DESIGNED BY :	W.T.
DRAWN BY :	A.K.
CHECKED BY :	W.T.
APPROVED BY :	W.T.
PROJECT NO. :	

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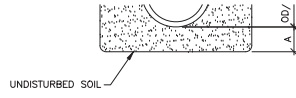
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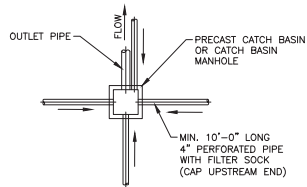
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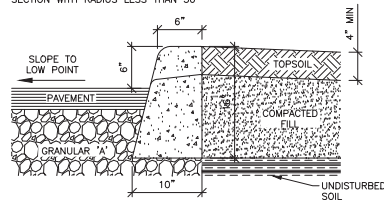
NOTES: O.D. IS NOT TO INCLUDE BELL.
 A = D/4 BUT NOT LESS THAN 6"
 ALTERNATIVE BEDDING MATERIAL
 MAY BE USED, SUBJECT TO
 THE APPROVAL OF THE ENGINEER
 PRIOR TO THE START OF
 CONSTRUCTION.

CLASS 'B' BEDDING DETAIL
 NOT TO SCALE



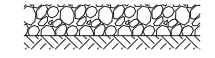
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MAXIMUM JOINT SPACING:
 TYPICALLY 16'; 10' ON CIRCULAR
 SECTION WITH RADIUS LESS THAN 30'

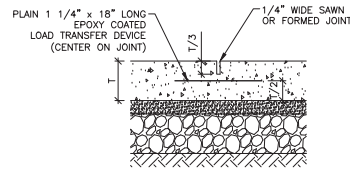


6" HIGH CONCRETE CURB
 NOT TO SCALE

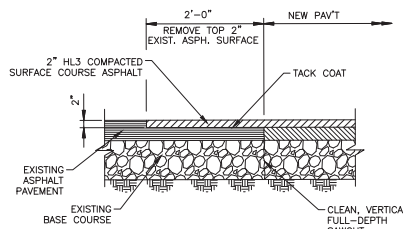
MAXIMUM JOINT SPACING:
 TYPICALLY 16'; 10' ON CIRCULAR
 SECTION WITH RADIUS LESS THAN 30'



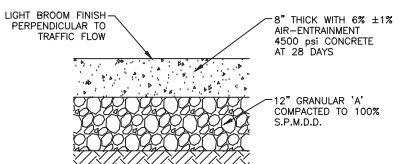
CONTRACTION JOINT
 JOINT TYPE 'B'
 NOT TO SCALE



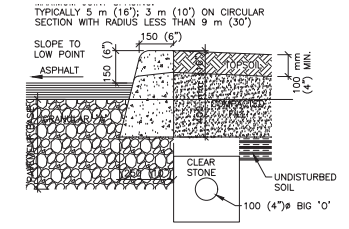
CONTRACTION JOINT
 JOINT TYPE 'C'
 NOT TO SCALE



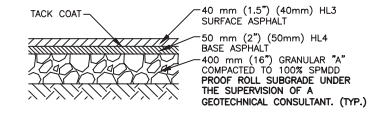
LAP JOINT
 NOT TO SCALE



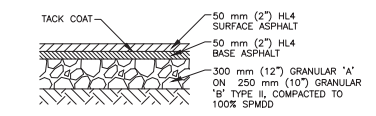
CONCRETE PAVEMENT (DRIVE PATH)
 NOT TO SCALE



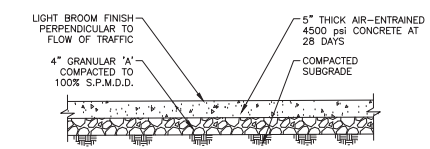
150 mm (6") HIGH CONCRETE CURB
 NOT TO SCALE



PARKING LOT PAVEMENT
 NOT TO SCALE



DRIVEWAY/HEAVY DUTY PAVEMENT
 NOT TO SCALE



CONCRETE SIDEWALK
 NOT TO SCALE

NOTES:
 1. CONTRACTION JOINTS SHALL BE SPACED AT 5'-0" MAXIMUM INTERVALS.
 2. EXPANSION JOINTS SHALL BE PREMOULDED FILLER, SPACED AT A MAXIMUM OF 50'-0" O.C. AND SHALL BE PROVIDED WHERE THE WALK ABUTS STRUCTURES, BEGINNING AND END OF RADII AND WHERE WALK ABUTS EXISTING CONCRETE.

Appendix B
Stormwater Calculations



**HADDAD MORGAN
& ASSOCIATES LTD**
CONSULTING ENGINEERS

Project Name:	Sobeys Expansion	
Project Location:	Amherstburg Ontario	
Project No:	21-a189	
Date of Issuance:	22-Nov-21	
Revision No.	0	
Designer:	W.T.	
Reviewing Eng.	W.T.	
Governing Release	5	(2 = 2 year, 5 = 5 year)
Over-ride C pre-development		enter no value to use calculated C.

Stormwater analysis and design by rational method conforming to Windsor-Essex Regional Stormwater Management Standards Manual.

	Predevelopment Conditions			Post Development Condition				
	SM	C	AC	SM	C 5yr	C100 yr	AC 5 yr	AC 100yr
Total Area	1,723			1,723				
Building Area	0	0.95	0	851	0.95	0.95	808.735	808.735
Paved Surface	667	0.95	633.84	871	0.95	0.95	827.64	827.64
Granular surface	1,055	0.7	738.71	0	0.7	0.7	0	0
Landscape	0	0.2	0	0	0.2	0.2	0	0
Sumation			1372.55				1636.375	1636.375
C value			0.797				0.950	0.950
	5 Year		2 Year	5 Year **		2 Year	100 Year**	
Overland flow	24.4	m		24.4	m		24.4	m
Mannings n	0.015			0.013			0.013	
Slope	1	%		1	%		1	%
O.C. Time*	0	minutes		0	minutes		0	
	*O.C. = Open Channel Flow Eq. 3.7.3.3							
Estimated tc	1.9	min		1.8	min		1.8	min
intensity	172.7	mm/hr		174.1	mm/hr		174.1	mm/hr
time by 3.7.3.1	1.9	min		1.8	min		1.8	min
Total time	1.9	min		1.8			1.8	
	PROCEED		PROCEED	PROCEED		PROCEED	PROCEED	

Estimated Tc and T (total) must equal to proceed.

Runoff Pre-Development 5yr Post 100yr Post
 CMS CMS CMS
 Hydrologic Soil Condition [A,B,C OR D] Storage depth mm

Storage Volume Requirement per 3.3.2 CM
 Storage value present relates to Zero release from Site

Limiting Release per 3.3.2.2 C 100
 C 100 to be used Maximum Calculated C value

2/5 year ponding elevation m
 100 year ponding elevation m
 Invert of Outlet m
 Outlet water elevation m ** enter as zero for free outlet

Orifice Factor
 Orifice size mm Area SM

Delta H 2/5 year m
 Delta H 100 yr m

Q out 2/5 year CMS LIMIT CMS PREDEVELOPMENT
 Q out 100 year CMS CMS **OVERRIDE**

PUMPING RATE OVER RIDE ****ENTER VALUE FOR FIXED PUMPING RATE**
CMS **ENTER AS ZERO OR NO PUMP IS USED**

Minor Event

year

C post

IDF Variables

A

B

C

Based on Sherman Method (T= Time of Duration)

Time of Duration	i	Q (rational)	Release Rate	Differential Flow	Storage	mm of Rainfall in Event	32mm component**
5	139.6	0.064	0.066	-0.002	-0.5	11.63	0.00
10	107.7	0.049	0.066	-0.016	-9.8	17.95	0.00
15	88.4	0.041	0.066	-0.025	-22.6	22.10	0.00
20	75.3	0.035	0.066	-0.031	-37.3	25.12	0.00
25	65.9	0.030	0.066	-0.035	-53.2	27.45	0.00
30	58.7	0.027	0.066	-0.039	-69.8	29.35	0.00
35	53.0	0.024	0.066	-0.041	-86.8	30.93	0.00
40	48.4	0.022	0.066	-0.043	-104.3	32.29	0.00
45	44.6	0.020	0.066	-0.045	-122.0	33.47	0.00
50	41.4	0.019	0.066	-0.047	-140.0	34.52	0.00
55	38.7	0.018	0.066	-0.048	-158.1	35.46	0.00
60	36.3	0.017	0.066	-0.049	-176.4	36.32	0
65	34.2	0.016	0.066	-0.050	-194.8	37.10	0
70	32.4	0.015	0.066	-0.051	-213.3	37.82	0
75	30.8	0.014	0.066	-0.052	-231.9	38.48	0
80	29.3	0.013	0.066	-0.052	-250.6	39.10	0
90	26.8	0.012	0.066	-0.053	-288.1	40.23	0
100	24.7	0.011	0.066	-0.054	-325.9	41.23	0

** 32 mm component relates to storage related to 32mm equivalent of store event not released for WQS

Storage Requirements	-0.5	CM
WQS Component	0.00	CM

Storage Description

Major Event year

C post

IDF Variables A

B

C

Based on Sherman Method (T= Time of Duration)

Time of Duration	i	Q (rational)	Release Rate	Differential Flow	Storage	mm of Rainfall in Event	32mm component**
5	218.2	0.100	0.066	0.034	10.3	18.19	18.2
10	172.7	0.079	0.066	0.013	8.1	28.78	28.8
15	143.7	0.066	0.066	0.000	0.2	35.92	0.1
20	123.5	0.057	0.066	-0.009	-10.9	41.16	0.0
25	108.6	0.050	0.066	-0.016	-23.9	45.24	0.0
30	97.1	0.044	0.066	-0.021	-38.1	48.53	0.0
35	87.9	0.040	0.066	-0.025	-53.3	51.28	0.0
40	80.4	0.037	0.066	-0.029	-69.1	53.62	0.0
45	74.2	0.034	0.066	-0.032	-85.4	55.66	0.0
50	68.9	0.032	0.066	-0.034	-102.2	57.45	0.0
55	64.4	0.030	0.066	-0.036	-119.2	59.05	0.0
60	60.5	0.028	0.066	-0.038	-136.5	60.50	0.0
65	57.1	0.026	0.066	-0.040	-154.1	61.81	0.0
70	54.0	0.025	0.066	-0.041	-171.8	63.01	0.0
75	51.3	0.024	0.066	-0.042	-189.6	64.12	0.0
80	48.9	0.022	0.066	-0.043	-207.6	65.14	0.0
90	44.7	0.020	0.066	-0.045	-244.0	66.99	0.0
100	41.2	0.019	0.066	-0.047	-280.7	68.63	0.0

** 32 mm component relates to storage related to 32mm equivalent of store event not released for WQS

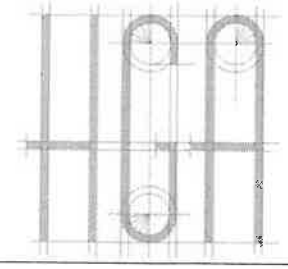
Storage Requirements	10.3	CM
WQS Component	28.78	CM

Storage Description

Schedule "Q" to By-law 2022-024

Hanna, Ghobrial and Associates, Ltd.

3100 Temple Dr. ,
Windsor, Ontario, N8W 5J6
Tel: 519-945-7373
Email: info@hgaassociates.com



RE: 83 SANDWICH STREET BUILDING ADDITION

As seen in the Zoning by law attached in this package, the by law currently permits 190 Parking spaces. In the Site plan attached you will find that 201 including 7 barrier-free parking spaces have been provided which is surpassing the City's by law requirement of 190 parking spaces.

A Traffic Impact Study was conducted in 2018 by Dillon consulting which established that a total of 192 parking spots will be ideal for the site. This study takes into consideration the potential expansion(s) and therefore, remains applicable and does not need to alter or change. See Table below.

EXCERPT FROM DILION CONSULTING TRAFFIC STUDY

LAND USE	PARKING REQUIREMENT (BASED ON ZONING BY-LAW AND SURVEY (AS OF 2018))
Sobeys (40,000sq. ft)	109
Wendy's (2,339 sq. Ft)	22
Potential expansion (12,000sq. ft)	33
Potential Restaurant (3,000 sq. ft)	28
Potential Long-term with expansion	192

In conclusion, the 201 proposed parking exceeds current City by law and suggested total parking by Dillon Consulting.