

**CORPORATION OF THE TOWN OF AMHERSTBURG  
BY-LAW NO. 2018-38**

**By-law to close Dunn Street  
and convey these lands to the Developer**

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**WHEREAS** it is deemed expedient to close Dunn Street described as follows;

**Legal Description** All of Dunn Street on Plan 12M-632 (PIN 01545-1880)

**AND WHEREAS** the Council of the Town of Amherstburg has deemed it appropriate and expedient to convey the said lands to the Developer to facilitate further development;

**AND WHEREAS** Council adopted a report prepared by Rebecca Belanger, Manager of Planning Services at the Council Meeting of April 23, 2018 which recommended the said road closure and land conveyance take place;

**NOW THEREFORE** the Council of the Corporation of the Town of Amherstburg enacts as follows:

1. That the following parts of Dunn Street as shown on Plan 12M-632 attached to this by-law, shall be closed and conveyed to the Developer, 1078217 Ontario Limited:

**Plan 12M-632, all of Dunn Street- PIN 01545-1880**

2. That this by-law shall come into force and take effect after the final passing thereof on the day upon which it is registered in the Registry Office for the Registry Division of Essex (No. 12).
3. That the Mayor and the Clerk of the Corporation be and are hereby authorized to do all acts and sign all documents which will be necessary to close the said parts of the road and convey the said lands as provided herein, and to otherwise carry out the intent of this by-law.

Read a first, second and third time and finally passed this 23<sup>rd</sup> day of April, 2018.

  
\_\_\_\_\_  
MAYOR- ALDO DICARLO

  
\_\_\_\_\_  
CLERK- PAULA PARKER

PLAN 12M-632

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF ESSEX (12) AT 11:56 O'CLOCK ON THE 14th DAY OF June 2017 AND ENTERED IN THE PARCEL REGISTER FOR PROPERTY IDENTIFIER 01545-1704 AND REQUIRED COSENTS ARE REGISTERED AS PLAN DOCUMENT NO. CE 775144

"Robert Barichello" REPRESENTATIVE FOR LAND REGISTRY

THIS PLAN COMPRISES PART OF THE LAND IDENTIFIED BY PLAN 01545-1704.

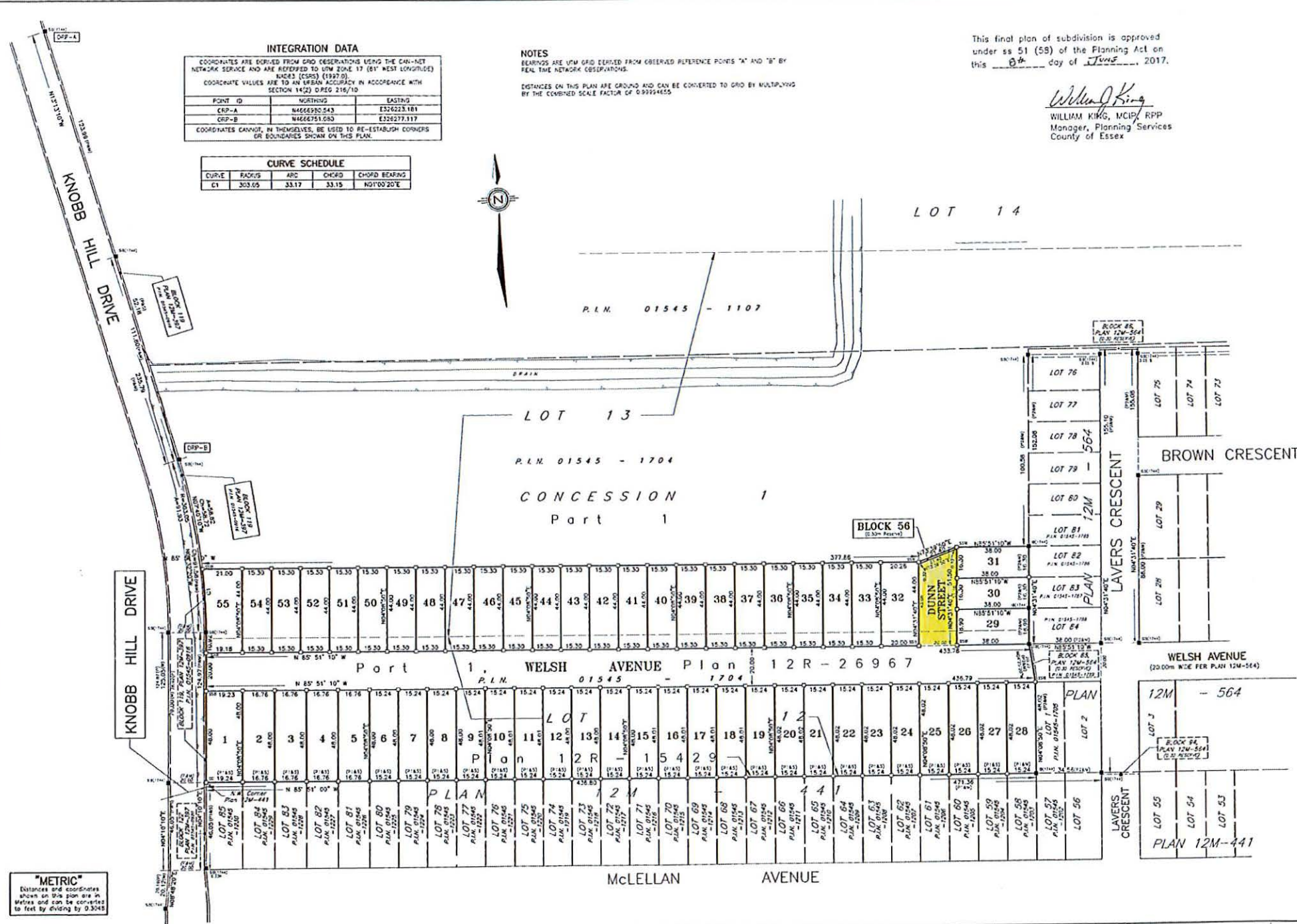
This final plan of subdivision is approved under ss 51 (59) of the Planning Act on this 09th day of June 2017.

William King WILLIAM KING, MCIP, RPP Manager, Planning Services County of Essex

INTEGRATION DATA table with columns: POINT ID, NORTHING, EASTING, CRP-A, CRP-B

NOTES BEARINGS ARE UTM GRID DERIVED FROM OBSERVED REFERENCE POINTS "A" AND "B" BY REAL TIME NETWORK OBSERVATIONS...

CURVE SCHEDULE table with columns: CURVE, RADIUS, ARC, CHORD, CHORD BEARING



PLAN OF SUBDIVISION OF PART OF LOTS 12 & 13, CONCESSION 1, GEOGRAPHIC TOWNSHIP OF ANDERDON NOW IN THE TOWN OF AMHERSTBURG COUNTY OF ESSEX, ONTARIO

VERHAEGEN • STUBBERFIELD • HARTLEY • BREWER • BEZARE INC. SCALE = 1:1000

- LEGEND ALL MONUMENTS SHOWN THUSLY (O) ARE IRON BARS (B) UNLESS OTHERWISE NOTED... DENOTES 25mm x 25mm x 1.22m STANDARD IRON BAR...

OWNERS CERTIFICATE THIS IS TO CERTIFY THAT: 1. LOTS 1 TO 55 (inclusive), BLOCK 56 (being 0.30 metre Fessway) AND THE STREETS NAMED WELSH AVENUE AND DUNN STREET HAVE BEEN Laid IN ACCORDANCE WITH OUR RESTRICTIONS...

1076217 ONTARIO LIMITED Michael R. Dunn MICHAEL R. DUNN I HAVE THE AUTHORITY TO BIND THE CORPORATION

SURVEYOR'S CERTIFICATE I CERTIFY THAT: 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM...

DATE APRIL 22, 2017 Andrew S. Wantha ANDREW S. WANTHA ONTARIO LAND SURVEYOR FOR VERHAEGEN • STUBBERFIELD • HARTLEY • BREWER • BEZARE INC.

WINDSOR LEAMINGTON VERHAEGEN STUBBERFIELD HARTLEY BREWER BEZARE INC. ONTARIO LAND SURVEYORS

"METRIC" Distances and coordinates shown on this plan are in metres and can be converted to feet by dividing by 0.3048

**Properties**

PIN 01545 - 1880 LT Interest/Estate Fee Simple  
 Description DUNN STREET, PLAN 12M632; TOWN OF AMHERSTBURG  
 Address AMHERSTBURG

**Consideration**

Consideration \$0.00

**Transferor(s)**

The transferor(s) hereby transfers the land to the transferee(s).

Name THE CORPORATION OF THE TOWN OF AMHERSTBURG  
 Address for Service 271 Sandwich St. S.  
 Amherstburg,  
 Ontario  
 N9V 2A5

This document is not authorized under Power of Attorney by this party.

This document is being authorized by a municipal corporation Aldo DiCarlo, Mayor and Paula Parker, Clerk.

**Transferee(s)****Capacity****Share**

Name 1078217 ONTARIO LIMITED Registered Owner  
 Address for Service 948 Albert Lane  
 R.R. #1  
 Belle River, Ontario  
 N0R 1A0

**Signed By**

Jeffrey Alan Baker 41 Sandwich Street South acting for Signed 2018 05 07  
 Amherstburg Transferor(s)  
 N9V 1Z5

Tel 519-736-2154

Fax 519-736-2466

I am the solicitor for the transferor(s) and I am not one and the same as the solicitor for the transferee(s).

I have the authority to sign and register the document on behalf of the Transferor(s).

Janice Olive Busch 41 Sandwich Street South acting for Signed 2018 05 07  
 Amherstburg Transferee(s)  
 N9V 1Z5

Tel 519-736-2154

Fax 519-736-2466

I am the solicitor for the transferee(s) and I am not one and the same as the solicitor for the transferor(s).

I have the authority to sign and register the document on behalf of the Transferee(s).

**Submitted By**

JEFFREY A. BAKER & JANICE O. BUSCH 41 Sandwich Street South 2018 05 08  
 Amherstburg  
 N9V 1Z5

Tel 519-736-2154

Fax 519-736-2466

**Fees/Taxes/Payment**

Statutory Registration Fee \$63.65  
 Provincial Land Transfer Tax \$0.00  
 Total Paid \$63.65

**File Number**

Transferee Client File Number : 10996/07

**LAND TRANSFER TAX STATEMENTS**

In the matter of the conveyance of: 01545 - 1880 DUNN STREET, PLAN 12M632; TOWN OF AMHERSTBURG

BY: THE CORPORATION OF THE TOWN OF AMHERSTBURG

TO: 1078217 ONTARIO LIMITED

Registered Owner

1. MICHAEL R. DUNN

I am

- (a) A person in trust for whom the land conveyed in the above-described conveyance is being conveyed;
- (b) A trustee named in the above-described conveyance to whom the land is being conveyed;
- (c) A transferee named in the above-described conveyance;
- (d) The authorized agent or solicitor acting in this transaction for \_\_\_\_\_ described in paragraph(s) ( ) above.
- (e) The President, Vice-President, Manager, Secretary, Director, or Treasurer authorized to act for 1078217 ONTARIO LIMITED described in paragraph(s) (c) above.
- (f) A transferee described in paragraph ( ) and am making these statements on my own behalf and on behalf of \_\_\_\_\_ who is my spouse described in paragraph ( ) and as such, I have personal knowledge of the facts herein deposed to.

3. The total consideration for this transaction is allocated as follows:

(a) Monies paid or to be paid in cash	\$0.00
(b) Mortgages (i) assumed (show principal and interest to be credited against purchase price)	\$0.00
(ii) Given Back to Vendor	\$0.00
(c) Property transferred in exchange (detail below)	\$0.00
(d) Fair market value of the land(s)	\$0.00
(e) Liens, legacies, annuities and maintenance charges to which transfer is subject	\$0.00
(f) Other valuable consideration subject to land transfer tax (detail below)	\$0.00
(g) Value of land, building, fixtures and goodwill subject to land transfer tax (total of (a) to (f))	\$0.00
(h) VALUE OF ALL CHATTELS -items of tangible personal property	\$0.00
(i) Other considerations for transaction not included in (g) or (h) above	\$0.00
(j) Total consideration	\$0.00

4.

Explanation for nominal considerations:

s) other: Closure of Dunn Street, Plan 12M362 and conveyance to the Developer, 1078217 Ontario Limited pursuant to By-Law 2018-38 of the Town of Amherstburg

5. The land is not subject to an encumbrance

6. Other remarks and explanations, if necessary.

1. The information prescribed for purposes of section 5.0.1 of the Land Transfer Tax Act is not required to be provided for this conveyance.
2. The transferee(s) has read and considered the definitions of "designated land", "foreign corporation", "foreign entity", "foreign national", "specified region" and "taxable trustee" as set out in subsection 1(1) of the Land Transfer Tax Act. The transferee(s) declare that this conveyance is not subject to additional tax as set out in subsection 2(2.1) of the Act because:
3. (a) This is not a conveyance of land that is located within the "specified region".
4. The transferee(s) declare that they will keep at their place of residence in Ontario (or at their principal place of business in Ontario) such documents, records and accounts in such form and containing such information as will enable an accurate determination of the taxes payable under the Land Transfer Tax Act for a period of at least seven years.
5. The transferee(s) agree that they or the designated custodian will provide such documents, records and accounts in such form and containing such information as will enable an accurate determination of the taxes payable under the Land Transfer Tax Act, to the Ministry of Finance upon request.

**PROPERTY Information Record**

A. Nature of Instrument: Transfer  
LRO 12 Registration No. CE828067 Date: 2018/05/08

B. Property(s): PIN 01545 - 1880 Address AMHERSTBURG Assessment -  
Roll No

C. Address for Service: 948 Albert Lane  
R.R. #1  
Belle River, Ontario  
N0R 1A0

D. (i) Last Conveyance(s): PIN 01545 - 1880 Registration No.  
(ii) Legal Description for Property Conveyed: Same as in last conveyance? Yes  No  Not known

E. Tax Statements Prepared By: Janice Olive Busch  
41 Sandwich Street South  
Amherstburg N9V 1Z5

The applicant(s) hereby applies to the Land Registrar.

**Properties**

PIN 01545 - 1880 LT  
Description DUNN STREET, PLAN 12M632; TOWN OF AMHERSTBURG  
Address AMHERSTBURG

**Applicant(s)**

This Order/By-law affects the selected PINs.

Name THE CORPORATION OF THE TOWN OF AMHERSTBURG  
Address for Service 271 Sandwich Street South  
Amherstburg,  
Ontario  
N9V 2A5

This document is being authorized by a municipal corporation REBECCA BELANGER, MCIP, RPP, Manager of Planning and Development Services..

This document is not authorized under Power of Attorney by this party.

**Statements**

This application is based on the Municipality By-law See Schedules.

**Signed By**

Thomas Robert Porter 500-251 Goyeau Street acting for Signed 2018 05 04  
Windsor Applicant(s)  
N9A 6V2

Tel 519-258-0615  
Fax 519-258-6833

I have the authority to sign and register the document on behalf of the Applicant(s).

**Submitted By**

MOUSSEAU DELUCA MCPHERSON PRINCE 500-251 Goyeau Street 2018 05 04  
Windsor  
N9A 6V2

Tel 519-258-0615  
Fax 519-258-6833

**Fees/Taxes/Payment**

Statutory Registration Fee \$63.65  
Total Paid \$63.65