

THE CORPORATION OF THE TOWN OF AMHERSTBURG

BY-LAW NO. 2011-67

A by-law to authorize the signing of a Development Agreement.

WHEREAS Richmond Terrace Limited have proposed the redevelopment of property at 89 Rankin Street for purposes of a nursing home addition and renovations;

AND WHEREAS the Council of the Town of Amherstburg and owners of the said property have agreed to the terms and conditions of a Development Agreement in the form annexed hereto;

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF AMHERSTBURG HEREBY ENACTS AS FOLLOWS:

1. That the Mayor and Clerk be and they are hereby authorized to execute the original and copies of a Development Agreement in the form annexed hereto and affix the Corporate Seal thereto.
2. Any bylaw inconsistent with this bylaw is hereby repealed.
3. This By-law shall come into force and effect on the date of final passage hereof.

Read a first, second and third time and finally passed this 13th day of June, 2011.



Mayor- Wayne Hurst



Clerk- Brenda M. Percy

TOWN OF AMHERSTBURG

DEVELOPMENT AGREEMENT

BETWEEN: RICHMOND TERRACE LIMITED

-AND-

THE CORPORATION OF THE TOWN OF AMHERSTBURG

DEVELOPMENT AGREEMENT

Registered _____, 2011.

THIS AGREEMENT made in triplicate this 13th day of June, 2011.

BETWEEN:

RICHMOND TERRACE LIMITED
hereinafter called the "OWNER"

OF THE FIRST PART;

-and-

**THE CORPORATION OF THE
TOWN OF AMHERSTBURG**
hereinafter called the "CORPORATION"

OF THE SECOND PART;

WHEREAS the lands affected by this Agreement are described in Schedule "A" attached hereto, and are hereinafter referred to as the "said lands";

AND WHEREAS the Owner warrants it is the registered owner of the said lands;

AND WHEREAS, in this Agreement the "Owner" includes an individual, an association, a partnership or corporation and, wherever the singular is used therein, it shall be construed as including the plural;

AND WHEREAS the Official Plan in effect in Amherstburg designated parts of the area covered by the Official Plan as a Site Plan Control area;

AND WHEREAS the Owner intends to develop or redevelop the said lands for a nursing home addition and renovations in accordance with the Site Plan attached hereto as Schedule "B", and hereinafter referred to as the "Site Plan";

AND WHEREAS the Corporation as a condition of development or redevelopment of the said lands requires the Owner to enter into a Development Agreement;

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of other goods and valuable consideration and the sum of FIVE (\$5.00) DOLLARS of lawful money of Canada, now paid by each of the parties hereto to each of the other parties hereto, (the receipt of which is hereby acknowledged), the Owner hereby covenants and agrees with the Corporation as follows:

1. The following Schedules, which are identified by the signatures of the parties to this Agreement, and which are attached hereto, are hereby made a part of this Agreement as fully and to all intents and purposes as though recited in full herein:

SCHEDULE "A"-	Legal description of the said lands
SCHEDULE "B"-	Site Plan (Drawing S1)
SCHEDULE "C"-	Site Service Plan (Drawing SS1)
SCHEDULE "D"-	Site Service Plan Details (Drawing SS2)
SCHEDULE "E" -	Landscaping Plan (Drawing L.1)
SCHEDULE "F"-	Landscaping Plan Details (Drawing L.2)

SCHEDULE "G"- (a) Elevations (Drawing E1)
(b) Elevations and Cross Sections (Drawing E2)

2. Schedule "A" hereto describes the lands affected by this Agreement.
3. Schedule "B" hereto shows:
 - (a) The location of all buildings and structures to be erected;
 - (b) The location and provision of off-street vehicular loading and parking facilities and access driveways including driveways for emergency vehicles;
 - (c) Walkways and all other means of pedestrian access;
 - (d) The location and provision for the collection and storage of garbage and other waste materials;
4. Schedule "C" hereto shows:
 - (a) Site Service Plan
5. Schedule "D" hereto shows:
 - (a) Site Service Plan Details
6. Schedule "E" hereto shows:
 - (a) Landscape Plan
7. Schedule "F" hereto shows:
 - (a) Landscape Plan Details
8. Schedule "G" hereto shows:
 - (a) Elevations
 - (b) Elevations and Cross Sections
9. The Owner shall be responsible for consulting with and obtaining any necessary approvals from Essex Power Lines Corporation, Union Gas and Bell Canada regarding any matters that relate to services provided by Essex Power Lines Corporation, Union Gas and Bell Canada.
10. The Owner shall be responsible for consulting with and obtaining any necessary approval from the Ministry of the Environment and the Essex Region Conservation Authority.
11. All of the exterior walls of the building shall be as per the elevation drawings as shown on Schedule "G" hereto.
12. All parking and loading areas and lanes and driveways shall be paved with asphalt or a concrete Portland cement or other like material capable of permitting accessibility under all climatic conditions, as shown on Schedule "B" and together with crushed stone, slag, gravel, crushed brick, tile, cinders or like materials, having a combined depth of at least 15.2 cm and with provisions for drainage facilities.
13. The Owner shall maintain a minimum of parking spaces, as designated on Schedule "B".

14. All walkways on the said lands, where so designated on Schedule "B", shall be constructed of either concrete or interlocking paving stone by the Owner to the satisfaction of the Corporation.
15. If any curbs, sidewalks, boulevards or highway surfaces of the Corporation are damaged during the development by the Owner, such damage shall be repaired or replaced by the Owner.
16. Snow removal from the parking or loading areas and lanes, driveways and walkways shall be the responsibility of the Owner.
17. The Owner shall install and maintain a system for the disposal of storm and surface water as indicated on Schedules "B" and "C" so that no such water will flow along the surface from the said lands onto any adjoining lands. All storm and surface water disposal systems shall be to the satisfaction of the Corporation's Engineer.
18. Any garbage or refuse that is stored outside shall be stored in a non-combustible container and maintained so that the garbage or refuse does not blow or fall out of the container.
19. Any and all lighting shall be installed and maintained in accordance with the standards set out in the Town's Development Manual, so as to not, in the opinion of the Corporation, interfere with the use or enjoyment of adjacent properties or with the safe flow of traffic on abutting or adjacent streets.
20. The Owner shall landscape and maintain in plants and ground cover acceptable to the Corporation those lands so indicated on Schedules "E" and "F". The Owner agrees that the site will be inspected on an annual basis and any deficiencies will require immediate correction in accordance with the approved site plan.
21. All driveways for emergency vehicles shall:
 - (1) Be connected with a public thoroughfare;
 - (2) Be designed and constructed to support expected loads imposed by firefighting equipment;
 - (3) Be surfaced with concrete, asphalt or other like material capable of permitting accessibility under all climatic conditions;
 - (4) Have a clear width of 3 metres at all times;
 - (5) Be located not less than 3 metres and not more than 15.2 metres measured horizontally and at right angles from the face of the building;
 - (6) Have an overhead clearance not less than 4.5 metres;
 - (7) Have a change in gradient of not more than 1 in 12.5 over a minimum distance of 15.2 metres; and
 - (8) Have approved signs displayed to indicate the emergency route.
22. If the Ontario Building Code requires that an architect or professional engineer or both shall be responsible for the field review of any new building or extension provided for in this Agreement, the Owner shall not occupy or use or permit to be occupied or used any said new building or extension until after an architect or professional engineer has given to the Corporation a letter addressed to the Corporation and signed by him certifying that all services on or in the said lands, required for this development or redevelopment, newly installed by the Owner in connection with this development or redevelopment and not contained within a building, have been installed and completed in a manner satisfactory to the architect or professional engineer.

23. The Corporation through its servants, officers and agents including its building inspector, plumbing inspector, fire chief, public works head and municipal engineer may from time to time and at any time enter on the premises of the Owner to inspect:
 - (1) The progress of development;
 - (2) The state of maintenance as provided for in this Agreement.
24. In the event of any servant, officer or agent of the Corporation determining upon inspection the development is not proceeding in strict accord with the plans and specifications filed, such servant, officer or agent shall forthwith place a notice requiring all work to be stopped upon the premises and forward a copy by registered mail to the Owner at his last address as shown by the revised assessment rolls, and the Owner shall forthwith correct the deficiency or deviation.
25. In the event of any servant, officer or agent of the Corporation upon inspection being of the opinion that the state of maintenance is not satisfactory, such servant, officer or agent shall forthwith forward notice of such opinion to the Owner by registered mail at his last address as shown from the revised assessment rolls, and the Owner shall forthwith correct the deficiency or appeal to Council of the Corporation as hereinafter provided.
26. In the event that an Owner should disagree with the opinion of the servant, officer or agent of the Corporation as to the state of maintenance, such Owner shall appear before Council of the Corporation, which after hearing the Owner, shall express its opinion as to whether the maintenance is satisfactory by resolution, which shall constitute a final determination of the matter.
27. In the event that an Owner should fail to obey a stop work order issued under Section 24 hereof, the Owner recognizes the right of the Corporation to apply to the Courts for a restraining order.
28. In the event that an Owner should fail to correct a deviation or deficiency after notice pursuant to Section 25 or after notice of an opinion, which Council of the Corporation determines is correct under Section 26, the Council of the Corporation may by law direct or default of the matter or thing being done by the Owner, after two (2) weeks notices to it by registered mail at the last shown address of the Owner pursuant to the revised assessment rolls of passage of such by-law, that such matter or thing be done by the Corporation at the expense of the Owner, which expense may be recovered by action or like manner as municipal taxes.
29. In the event of an Owner wishing to change at any time any of the buildings, structures or facilities described in the plans annexed or referred to in Section 3 hereof, it shall make application to Council of the Corporation for approval and shall not proceed with such change until approval is given by such Council, or in default by the Ontario Municipal Board, under the procedure set out in Section 41 of the Planning Act, R.S.O. 1990 herebefore referred to.
30. This Agreement and the provisions thereof do not give to the Owner or any person acquiring any interest in the said lands any rights against the Corporation with respect to the failure of the Owner to perform or fully perform any of its obligations under this Agreement or any negligence of the Owner if its performance of the said obligations.

31. In the event that no construction on the said lands has commenced within one (1) year from the date of registration of this Agreement, the Corporation may, at its option, on one month's notice to the Owner, declare this Agreement to be subject to re-negotiation, whereupon the Owner agrees that it will not undertake any construction on the said lands until this Agreement has been re-negotiated.
32. The Corporation agrees that service delivery vehicles will be permitted to access the subject site through the easterly portion of the municipal parking lot to the north entrance. Egress to Richmond Street will be through the Owner's lands. The Owner is required to provide appropriate signage to the satisfaction of the Corporation.
33. All facilities and matters required by this Agreement shall be provided and maintained by the Owner at its sole risk and expense to the satisfaction of the Corporation and in accordance with the standards determined by the Corporation and in default thereof and without limiting other remedies available to the Corporation, the provisions of Section 446 of the Municipal Act shall apply.
34. A financial guarantee (certified cheque or irrevocable letter of credit – self renewing without burden of proof) for 50% of the value of on-site improvements exclusive of buildings and structures is required as part of the site plan agreement in addition to financial security in the amount of 100% for all off-site works is required as part of this development. The Owner's engineer is required to provide a certified estimate of the cost of the on-site and off-site work for consideration and approval by the Town's Director of Engineering and Infrastructure. Once the Town has inspected and approved the construction of the on-site and off-site works, the Owner will be required to provide security for a one year maintenance period in the amount of 15% of the cost of on-site and off-site improvements.
35. This Agreement shall be registered against the land to which it applies, at the expense of the Owner, and the Corporation shall be entitled, subject to the provisions of the Registry Act and the Land Titles Act, to enforce its provisions against the Owner named herein and any and all subsequent owners of the lands


IN WITNESS WHEREOF the Owner executed this Agreement.

**OWNER:
RICHMOND TERRACE LIMITED**



President, Peter Schuller

**THE CORPORATION OF THE
TOWN OF AMHERSTBURG**



Mayor – Wayne Hurst



Clerk – Brenda M. Percy

Authorized and approved by By-law
No. 2011-67 enacted the 13th day of
June, 2011.

SCHEDULE "A"

The following is a description of the land to which this instrument applies:

FIRSTLY: Lots 35 & 36, Plan 2, Lots 7, 8 & 9, North Side of Richmond Street, Plan 6, Part Lots 32, 33 & 34, Plan 2 and Part Lot 10, North Side of Richmond Street, Plan 6, Town of Amherstburg, County of Essex, Designated as Parts 2-9 on Plan 12R-11280 – PIN 70552-0438 (LT);

SECONDLY: Part Lot 6, North Side of Richmond Street, Plan 6, Town of Amherstburg, County of Essex, as in R966678 – PIN 70552-0199 (LT);

THIRDLY: Lot 31 and Part Lot 32, Plan 2, Town of Amherstburg, County of Essex, as in R1351673 – PIN 70552-0162 (LT);


FOURTHLY: Part Lots 33-34, Plan 2, Town of Amherstburg, County of Essex, as in R1040341 – PIN 70552-0167 (LT).

OWNER: RICHMOND TERRACE LIMITED

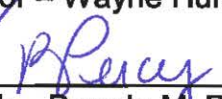


President, Peter Schuller

**THE CORPORATION OF THE
TOWN OF AMHERSTBURG**



Mayor – Wayne Hurst



Clerk – Brenda M. Percy

The applicant(s) hereby applies to the Land Registrar.

yyyy mm dd Page 1 of 15

Properties

PIN 70552 - 0438 LT
Description LT 35-36 PL 2; LTS 7,8,9, N/S RICHMOND ST, PLAN 6, PT LTS 32, 33, 34, PLAN 2 & PT LT 10, N/S RICHMOND ST, PLAN 6, AS PTS 2-9 ON 12R-11280 SUBJECT TO AN EASEMENT AS IN R1549695 TOWN OF AMHERSTBURG
Address 89 RANKIN AVENUE
AMHERSTBURG

PIN 70552 - 0199 LT
Description PT LT 6 N/S RICHMOND ST PL 6 AMHERSTBURG AS IN R966678
Address 89 RANKIN AVENUE
AMHERSTBURG

PIN 70552 - 0162 LT
Description LT 31 PL 2 AMHERSTBURG; PT LT 32 PL 2 AMHERSTBURG AS IN R1351673;
AMHERSTBURG
Address 89 RANKIN AVENUE
AMHERSTBURG

PIN 70552 - 0167 LT
Description PT LT 33-34 PL 2 AMHERSTBURG AS IN R1040341; AMHERSTBURG
Address 89 RANKIN AVENUE
AMHERSTBURG

Consideration

Consideration \$ 0.00

Applicant(s)

The notice is based on or affects a valid and existing estate, right, interest or equity in land

Name THE CORPORATION OF THE TOWN OF AMHERSTBURG
Address for Service 271 Sandwich St. S.
Amherstburg, ON
N9V 2A5

This document is not authorized under Power of Attorney by this party.

This document is being authorized by a municipal corporation LORY BRATT, AMCT, PLANNING COORDINATOR.

Party To(s)**Capacity****Share**

Name RICHMOND TERRACE LIMITED
Address for Service 284 Central Ave.
London, Ontario
N6B 2C8
Capacity Registered Owner

This document is being authorized by a municipal corporation LORY BRATT, AMCT, PLANNING COORDINATOR.

This document is not authorized under Power of Attorney by this party.

Statements

This notice is pursuant to Section 71 of the Land Titles Act.

This notice is for an indeterminate period

The land registrar is authorized to delete the notice on the consent of the following party(ies) LORY BRATT, AMCT, PLANNING COORDINATOR, THE CORPORATION OF THE TOWN OF AMHERSTBURG

Schedule: See Schedules

The applicant(s) hereby applies to the Land Registrar.

Signed By

Thomas Robert Porter	500-251 Goyeau Street Windsor N9A 6V2	acting for Applicant(s)	Signed	2011 07 12
Tel	519-258-0615			
Fax	5192586833			

I have the authority to sign and register the document on behalf of the Applicant(s).

Submitted By

MOUSSEAU DELUCA MCPHERSON PRINCE	500-251 Goyeau Street Windsor N9A 6V2	2011 07 12
Tel	519-258-0615	
Fax	5192586833	

Fees/Taxes/Payment

Statutory Registration Fee	\$60.00
Total Paid	\$60.00

SCHEDULE "B" TO BY-LAW 2011-67

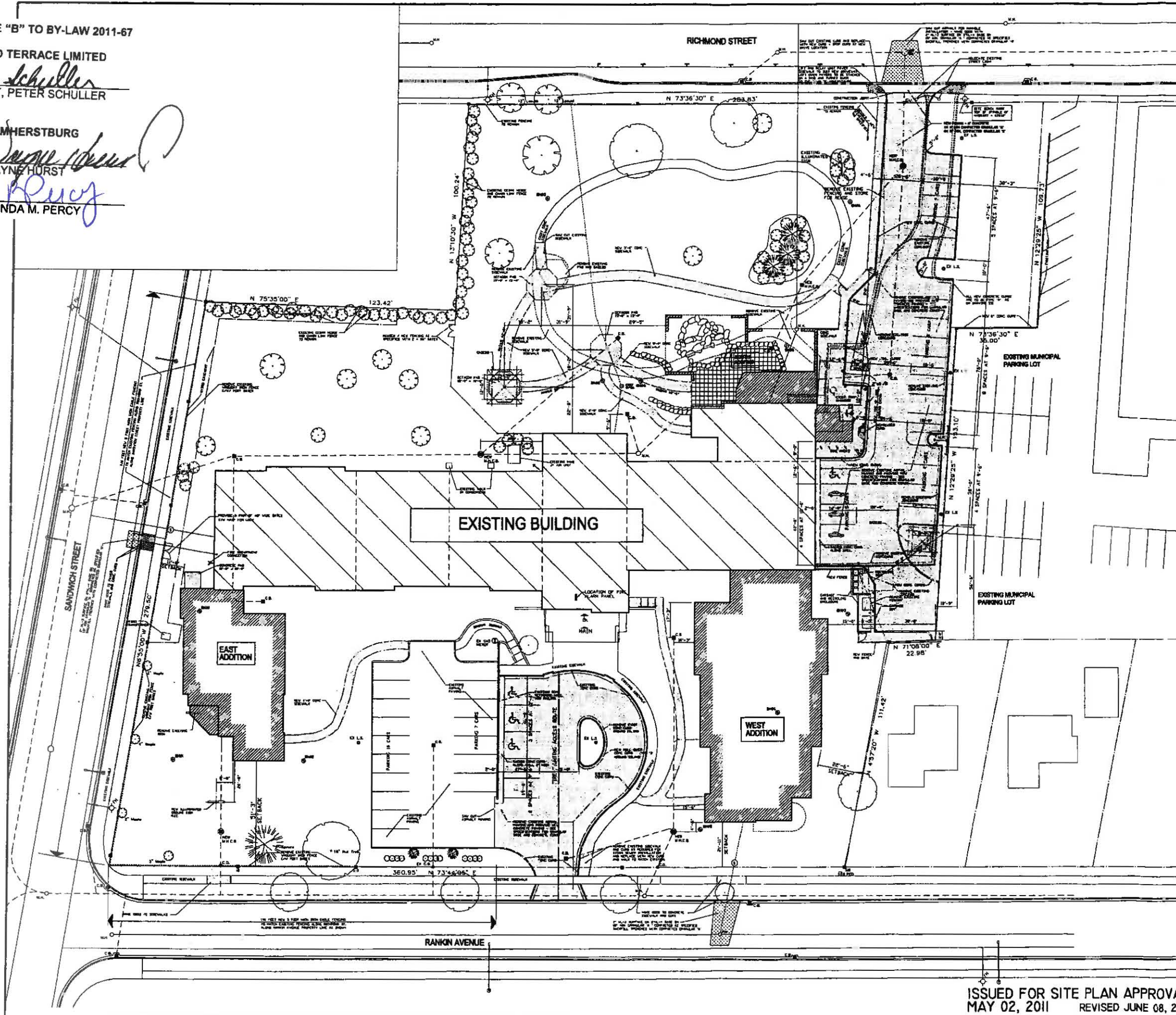
RICHMOND TERRACE LIMITED

Peter Schuller
PRESIDENT, PETER SCHULLER

TOWN OF AMHERSTBURG

Wayne Hurst
MAYOR-WAYNE HURST

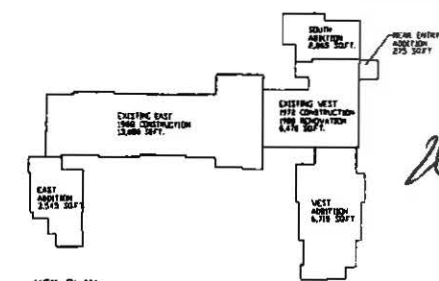
Brenda M. Percy
CLERK- BRENDA M. PERCY



BUILDING DESIGN CLASSIFICATION

TOTAL BUILDING AREA - 34,768 SQUARE FEET
GROUP - GROUP BY DIVISION
SAB AND RESIDENTIAL 10 ETC. 1222.9
ON 3 STOREY SPRAWLERS
MAX HEIGHT FOR A 3 STOREY BUILDING SHALL BE 77' (23.50M)
NON COMBUSTIBLE CONSTRUCTION
FLOOR ASSEMBLY TO BE FIRE SEPARATIONS WITH A ONE HOUR FIRE RESISTANCE RATING
SUPPORTING STRUCTURE TO HAVE A FIRE RESISTANCE RATING NOT LESS THAN THE SUPPORTED ASSEMBLY

BUILDING DESIGN / CONSTRUCTION SUMMARY



KEY PLAN
TOTAL BUILDING AREA - 34,768 SQUARE FEET

EXISTING BUILDING CONSTRUCTION / RENOVATION

EXISTING WEST
ORIGINALLY CONSTRUCTED IN 1979
EXTENSIVE RENOVATION IN 1998
6,470 SQUARE FEET
EXISTING EAST
ORIGINALLY CONSTRUCTED BY 1951
1,776 SQUARE FEET
3 STOREY-NON-COMBUSTIBLE CONSTRUCTION
ROOF CONSTRUCTION-1/2" SECTION GIBB 1/2" HALF RATING
INSULATION ON CEILING
ON 1 1/2" STEEL BEAM ON WALL
WITH SUSPENDED LATH CEILING SYSTEM
FLOOR CONSTRUCTION-1/2" SECTION GIBB 1/2" HOUR RATING
ON 1 1/2" STEEL BEAM ON WALL
WITH SUSPENDED LATH CEILING SYSTEM

CURRENT RENOVATIONS
ROOF CONSTRUCTION - NO RATING REQUIRED
INSULATION ON CEILING
ON 1 1/2" STEEL BEAM ON WALL
WITH SUSPENDED LATH CEILING SYSTEM AND CEILING TILE
TO MATCH EXISTING
FLOOR CONSTRUCTION - 1 HOUR RATING REQUIRED
ON 1 1/2" STEEL BEAM ON WALL
WITH SUSPENDED LATH CEILING SYSTEM AND CEILING TILE
TO MATCH EXISTING
FLOOR ASSEMBLY CONSTRUCTION WILL MATCH
EXISTING 10 HOUR BESSON 1041

ADDITIONS BUILDING CONSTRUCTION

ENTRY ADDITION - 776 SQUARE FEET
ONE STOREY - SPRINKLERED
NON-COMBUSTIBLE CONSTRUCTION
ROOF CONSTRUCTION - NO RATING REQUIRED
INSULATION ON CEILING
ON PRECAST CONCRETE PLANKS
SUPPORTED ON MASONRY WALLS

SOUTH ADDITION - 2,810 SQUARE FEET
WEST ADDITION - 6,750 SQUARE FEET
EAST ADDITION - 3,345 SQUARE FEET
3 STOREY - SPRINKLERED
NON-COMBUSTIBLE CONSTRUCTION
ROOF CONSTRUCTION - NO RATING REQUIRED
INSULATION ON CEILING
ON PRECAST CONCRETE PLANKS
SUPPORTED ON MASONRY WALLS
FLOOR CONSTRUCTION - PRECAST CONCRETE PLANKS PROVIDING
A 1 HOUR SEPARATION
SUPPORTED ON MASONRY WALLS WITH
A 1 HOUR FIRE RESISTANCE RATING

SITE DATA

EXISTING SITE DATA		PROPOSED SITE DATA	
SITE AREA (SQ FT)	131,495	SITE AREA (SQ FT)	131,495
SITE AREA (ACRES)	3.039	SITE AREA (ACRES)	3.039
BUILDING AREA (SQ FT)	19,259	BUILDING AREA (SQ FT)	34,768
BUILDING COVERAGE	14.64%	BUILDING COVERAGE	26.43%
NUMBER OF RESIDENTS	187	NUMBER OF RESIDENTS	187
PARKING SPACES REQUIRED - 1 SPACE / 3 RESIDENTS	62.33 SPACES	PARKING SPACES REQUIRED - 1 SPACE / 3 RESIDENTS	62.33 SPACES
NUMBER OF PARKING SPACES PROVIDED - 42 SPACES		NUMBER OF PARKING SPACES PROVIDED - 42 SPACES	
NUMBER OF LOADING SPACES PROVIDED - 1 SPACE		NUMBER OF LOADING SPACES PROVIDED - 1 SPACE	
PARKING AREA (SQ FT)	34,849	PARKING AREA (SQ FT)	23,779
PARKING COVERAGE	26.43%	PARKING COVERAGE	18.08%
SEWERAL AREA (SQ FT)	8,979	SEWERAL AREA (SQ FT)	7,620
LANDSCAPED AREA (SQ FT)	85,988	LANDSCAPED AREA (SQ FT)	64,367

LEGEND

NEW CONCRETE PAVING DRIVEWAYS AND DRIVEWAYS	NEW 1/2" DIA HOLE
NEW ASPHALT PAVING	NEW 1/2" DIA HOLE WITH GATE
UNIT PAVING SIDEWALK	CASE CATCH BASIN
PROPERTY LINE	CLEARCUT
STORM SEWER	SAMPLING RAIN HOLE
SANITARY SEWER	FIRE HYDRANT
EXISTING FENCE	WYRE MESH WITH GUY WIRES
NEW FENCE	NEW BOLLARDS
INDICATES HOLE LOCATION REFER TO SOIL REPORT 2004-1073	OR L.S. EXISTING LIGHT FIXTURES
INDICATES HOLE LOCATION REFER TO SOIL REPORT 2004-1073-108	INDICATES CHAIN LINK FENCING SPACE
	INDICATES UNIMPROVED PARKING SPACE
	INDICATES BARBER POLE ENTRANCE
	INDICATES MAIN ENTRANCE

LOTS 31, 32, 33, 34, 35 & 36
SOUTH SIDE OF RANKIN AVENUE
REGISTERED PLAN NO. 2
LOTS 7, 8, 9 & PART OF LOTS 6 & 10
NORTH SIDE OF RICHMOND STREET
REGISTERED PLAN NO. 6
IN THE
TOWN OF AMHERSTBURG
COUNTY OF ESSEX
TOPOGRAPHICAL INFORMATION WAS TAKEN FROM
PLAN 10-061 PREPARED BY FKS LAND SURVEYORS
(FARNCOMB KIRKPATRICK & STIRLING SURVEYING LTD)



APANS Health Services
241 Central Ave. London, ON N6B 2C3
(519) 873-8880 Fax: (519) 873-8729

RICHMOND TERRACE L.T.C.F.
AMHERSTBURG, ONTARIO
88 RANKIN AVENUE
SITE PLAN



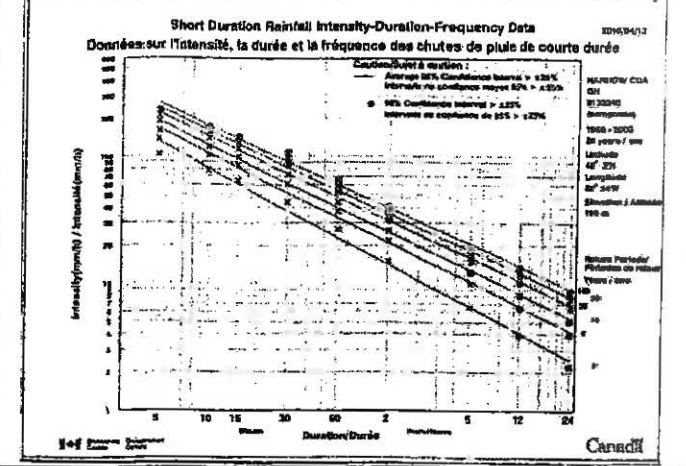
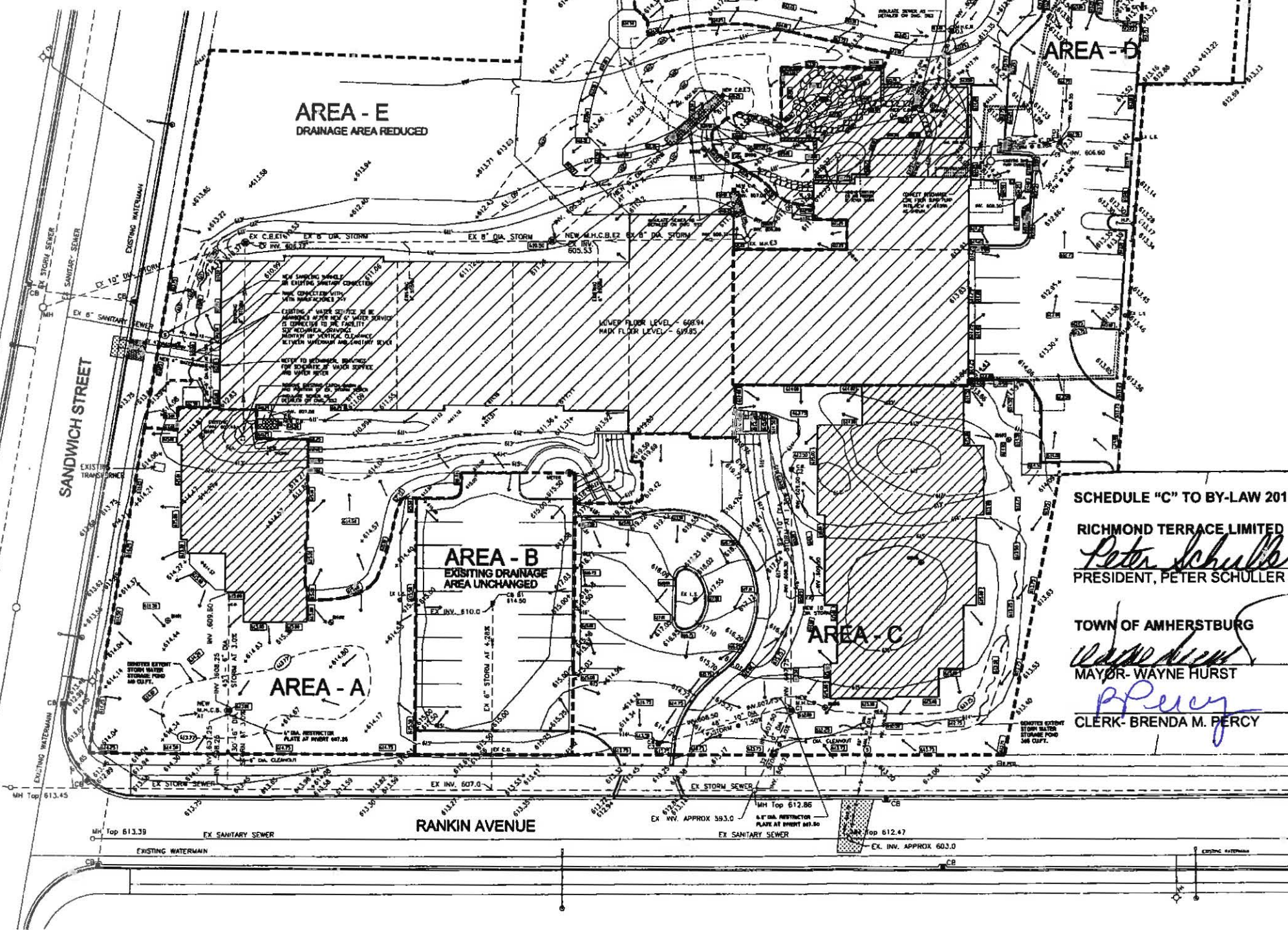
LOUIS COOKE Architect
771 North Mile Road, London, ON, Canada
Tel: (519) 873-1000 Fax: (519) 873-1001
E-mail: lcooke@louiscooke.ca



SI

ISSUED FOR SITE PLAN APPROVAL
MAY 02, 2011 REVISION JUNE 08, 2011

LOTS 31,32,33,34,35 & 36
SOUTH SIDE OF RANKIN AVENUE
REGISTERED PLAN NO. 2
LOTS 7,8,9 & PART OF LOTS 6 & 10
NORTH SIDE OF RICHMOND STREET
REGISTERED PLAN NO. 6
IN THE
TOWN OF AMHERSTBURG
COUNTY OF ESSEX
TOPOGRAPHICAL INFORMATION WAS TAKEN FROM
PLAN 10-061 PREPARED BY FKS LAND SURVEYORS
(FARNCOMB KIRKPATRICK & STIRLING SURVEYING LTD)



DRAINAGE AREA -A'

100 YEAR STORM
PRE DEVELOPMENT 'C' = .30
POST DEVELOPMENT 'C' = .734
I = 270 T = 5 min.

PREDEVELOPMENT DRAINAGE AREA = .1186 ha
POST DEVELOPMENT DRAINAGE AREA = .1186 ha
Q (ALLOWABLE) 2.78 x .3 x 270 x .1186 = 26.71 l/s

TIME MIN.	INT. I	Q post l/s	Q allowable l/s	DIFFERENCE 'd'	STORAGE d x T x / 1,000 CU METRES CU FEET
5	270	65.34	26.71	38.63	11.59 * 409.28 *
10	175	42.35	26.71	15.64	9.38 331.25

*CRITICAL STORAGE = 11.59 CU. METRES (410 CU. FEET)

DRAINAGE AREA -C'

100 YEAR STORM
PRE DEVELOPMENT 'C' = .47
POST DEVELOPMENT 'C' = .67
I = 270 T = 5 min.

PREDEVELOPMENT DRAINAGE AREA = .227 ha
POST DEVELOPMENT DRAINAGE AREA = .227 ha
Q (ALLOWABLE) 2.78 x .47 x 270 x .227 = 80.08 l/s

TIME MIN.	INT. I	Q post l/s	Q allowable l/s	DIFFERENCE 'd'	STORAGE d x T x / 1,000 CU METRES CU FEET
5	270	114.16	80.08	34.08	10.22 * 360.91 *
10	175	73.99	80.08	-6.09	

*CRITICAL STORAGE = 10.22 CU. METRES (360.91 CU. FEET)

DRAINAGE AREA -D'

100 YEAR STORM
PRE DEVELOPMENT 'C' = .63
POST DEVELOPMENT 'C' = .76
I = 270 T = 5 min.

PREDEVELOPMENT DRAINAGE AREA = .22 ha
POST DEVELOPMENT DRAINAGE AREA = .18 ha
Q (ALLOWABLE) 2.78 x .63 x 270 x .18 = 85.12 l/s

TIME MIN.	INT. I	Q post l/s	Q allowable l/s	DIFFERENCE 'd'	STORAGE d x T x / 1,000 CU METRES CU FEET
5	270	102.68	85.12	17.56	5.27 * 186.11 *
10	175	66.55	85.12	-18.57	
15	150	57.05	85.12	-28.07	

*CRITICAL STORAGE = 5.27 CU. METRES (186.11 CU. FEET)

SCHEDULE "C" TO BY-LAW 2011-67

RICHMOND TERRACE LIMITED
Peter Schuller
PRESIDENT, PETER SCHULLER

TOWN OF AMHERSTBURG
Wayne Hurst
MAYOR- WAYNE HURST

B. Percy
CLERK- BRENDA M. PERCY

- LEGEND**
- EXISTING GRADE (IN FEET)
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED GRADE
 - DIRECTION OF SURFACE DRAINAGE
 - DIRECTION OF SURFACE DRAINAGE
 - MAN HOLE
 - MAN HOLE CATCH BASIN
 - SAMPLING MAN HOLE
 - CLEAN D₁
 - CATCH BASIN
 - FIRE HYDRANT
 - HYDRO PILE WITH GUY WIRES
 - STORM SEWER
 - SANITARY SEWER
 - DRAINAGE AREA BOUNDARY

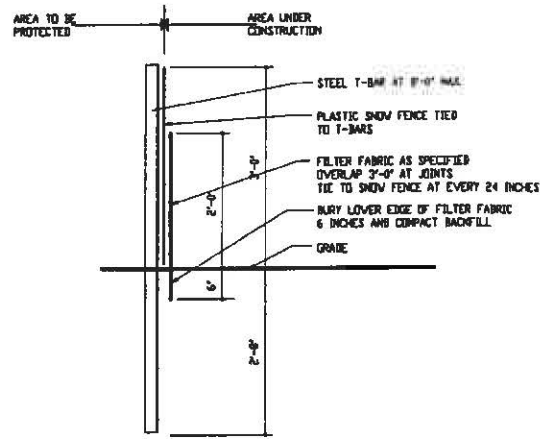
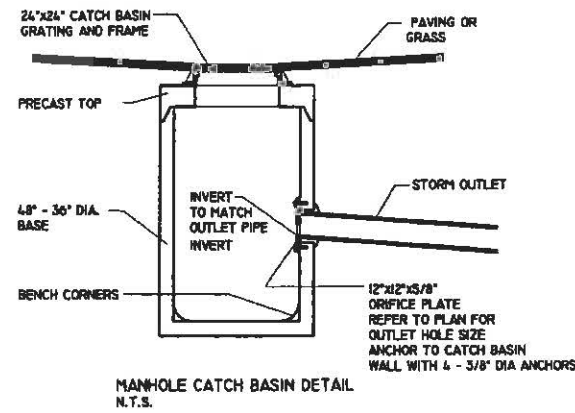
ISSUED FOR SITE PLAN APPROVAL
MAY 02, 2011 REVISED JUNE 08, 2011

APANS Health Services
24 Church Hill, Amherstburg, ON N1X 2K5
PH: 519-672-0888 Fax: 519-672-0728

RICHMOND TERRACE L.T.C.F.
AMHERSTBURG, ONTARIO
Scale: N.T.S.
Date: 04/18/11
Drawn By: [Name]
Checked By: [Name]
Revision: [Number]

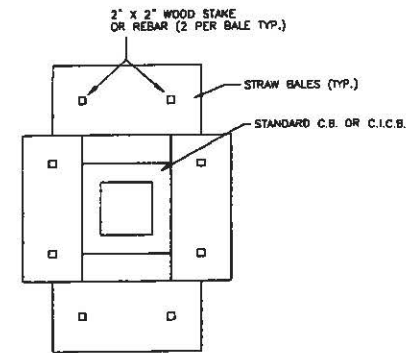
JAN VINCENT SERVICES
A DIVISION OF FARNCOMB KIRKPATRICK & STIRLING SURVEYING LTD.
CIVIL ENGINEERING
CONSULTANTS, ARCHITECTS & PLANNERS
PH: 519-478-4848

SSI



Silt Fence Detail
NTS

REFER TO SPECIFICATION
SECTION 02370 - EROSION AND SEDIMENTATION CONTROL

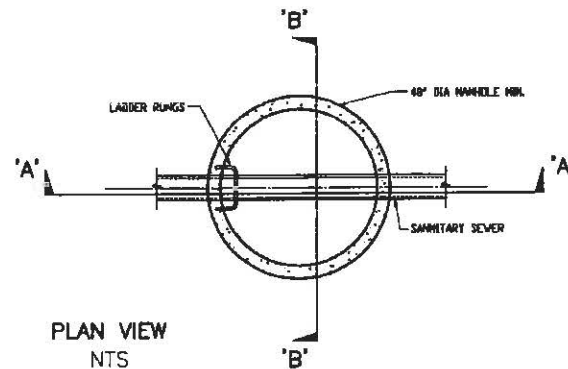


SEDIMENT AND EROSION CONTROL NOTES

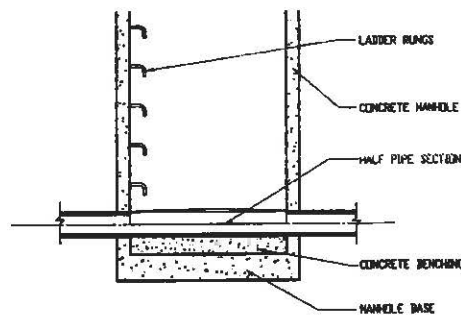
1. PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
2. ALL EROSION CONTROL MEASURES TO BE IN PLACE BEFORE STARTING CONSTRUCTION AND REMAIN IN PLACE UNTIL RESTORATION COMPLETE.
3. MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION.
4. ALL COLLECTED SEDIMENT TO BE DISPOSED OF AT AN APPROVED LOCATION.
5. MINIMIZE AREA DISTURBED DURING CONSTRUCTION.
6. ALL DEWATERING TO BE DISPOSED OF IN AN APPROVED SEDIMENTATION BASIN.
7. PROTECT ALL CATCHBASINS, MANHOLES AND PIPE ENDS FROM SEDIMENT INTRUSION.
8. KEEP ALL SUMPS CLEAN DURING CONSTRUCTION.
9. PREVENT WIND-BLOWN DUST.
10. STRAW BALES TO BE USED IN LOCALIZED AREAS AS SHOWN AND AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION.

Straw Bale Filter
PLAN VIEW
NTS

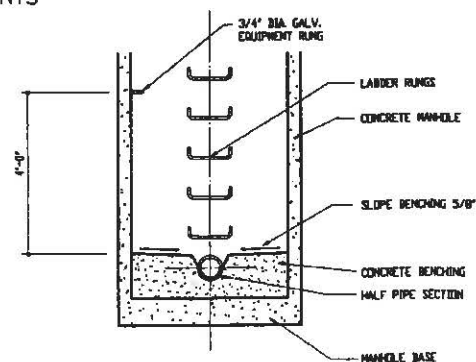
REFER TO SPECIFICATION
SECTION 02370 - EROSION AND SEDIMENTATION CONTROL



PLAN VIEW
NTS

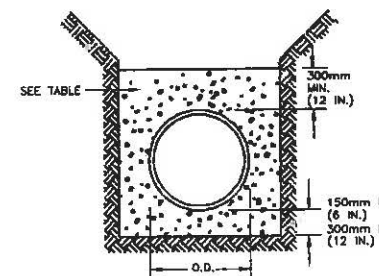


SECTION A - A
NTS



SECTION B - B
NTS

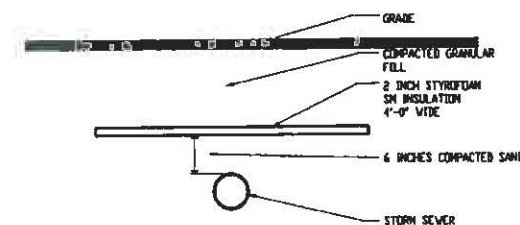
SAMPLING MANHOLE DETAIL



NOTES:
A) all bedding materials to be mechanically compacted in accordance with specifications and Standard Contract Documents.

DEPTH OF COVER OVER PIPE	SEWER BEDDING MATERIAL
TYPE - 1 to 4.5 M (15 ft.)	Coarse sand, approved granular
TYPE - 2 to 10.5 M (35 ft.)	Crushed stone

Bedding for Flexible Pipe



Bedding for Flexible Pipe

PREPARE INSULATION ABOVE SEWERS AS DETAILED WHERE NOTED ON SITE SERVICE PLAN

1. AT SERVICE CONNECTIONS WITHIN ROAD ALLOWANCE THE COST FOR ASPHALT PAVING, CONCRETE CURBS, CONCRETE SIDEWALKS RELAYING PAVED SIDEWALKS AND RELOCATION OF THE TOWN'S LIGHT STANDARDS AS SHOWN ARE TO BE PAID FOR THROUGH THE "SERVICE CONNECTION ALLOWANCE" NOTED ON THE TENDER FORM COSTS FOR SENSORS, HANDBLES, HANDS, INCLUDING CONULAR AND SENSING ARE TO BE INCLUDED IN THE BID TENDER. REFER TO SPECIFICATION FOR CONCRETE EXTERIOR BUILDING FOR GRANULAR BASE FOR ASPHALT AND SIDEWALKS.
 2. THE CONTRACTOR IS TO ARRANGE FOR ALL EXISTING UTILITIES TO BE LOCATED AND MARKED. VERIFY THE SIZES, LOCATIONS INVERTS, ETC. OF ALL SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR IS TO ARRANGE FOR EXISTING OVERHEAD SERVICES TO BE MARKED WITH WARNING FLAGS BY THE APPROPRIATE UTILITY.
 4. THE CONTRACTOR IS TO CONSULT WITH THE TOWN OF AMHERSTBURG AND OBTAIN APPROVAL FOR TRAFFIC SAFETY MEASURES TO BE EMPLOYED DURING ANY INTERRUPTION OF TRAFFIC ON PUBLIC STREETS.
 5. AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION IN ANY EXISTING ROAD ALLOWANCE MAINTAINED BY THE TOWN OF AMHERSTBURG THE CONTRACTOR IS TO OBTAIN A WORK PERMIT FROM THE PUBLIC WORKS DEPARTMENT.
 6. THE CONTRACTOR IS TO NOTIFY THE PUBLIC WORKS DEPARTMENT IN WRITING AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 7. THE CONTRACTOR IS TO MEET ALL THE REQUIREMENTS OF THE OWNERS OF THE UTILITIES IN THE AREA OF THE WORK TO PROVIDE ADEQUATE PROTECTION DURING THE CONSTRUCTION.
 8. THE CONTRACTOR IS TO TAKE ALL PRECAUTIONARY MEASURES UNDER THE OCCUPATIONAL HEALTH AND SAFETY OF WORKERS ACT.
 9. THE STRUCTURAL DESIGN OF SEWERS IS BASED ON THE TRANSITION WITH UNLESS NOTED OTHERWISE.
 10. ALL WORKS SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE TOWN OF AMHERSTBURG PUBLIC WORKS DEPARTMENT.
 11. NO CUT AND FILL CALCULATIONS HAVE BEEN DONE.
 12. ALL NEW SEWER PIPE TO 6 INCHES TO 18 INCHES IN DIAMETER IS TO BE P.V.C. SDR 20 OR RIBBED PIPE.
 13. PIPE BENDING IS TO BE AS DETAILED.
 14. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL WORK RELATING TO OTHER UTILITIES SUCH AS GAS, POWER, TELEPHONE, CABLE TV, ETC.
 15. ALL SEWER AND WATERMAIN CROSSINGS TO BE CONSTRUCTED IN SUCH A MANNER THAT THE PIPE LENGTHS ARE CENTERED AND PIPE JOINTS ARE EMBODIMENT AND AS FAR FROM THE INTERSECTION AS POSSIBLE.
 16. ALL WATERWORKS CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF AMHERSTBURG PUBLIC WORKS DEPARTMENT.
 17. ALL SURFACES DAMAGED OR DISTURBED WITHIN THE ROAD ALLOWANCE ARE TO BE RESTORED TO A CONDITION EQUAL OR BETTER THAN THE ORIGINAL CONDITION.
 18. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES TO CONTROL SILT ENTERING THE STORM DRAINAGE SYSTEM AS PER SPECIFICATION SECTION 02370 - EROSION AND SEDIMENTATION CONTROL, AND AS DETAILED.
 19. ALL ORGANIC, UNSTABLE OR UNSUITABLE MATERIALS BENEATH THE SERVICES MUST BE REMOVED AND THE AREAS BACKFILLED WITH APPROVED FILL MATERIAL. ALL THE THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
 20. UPON COMPLETION OF THE SEWER INSTALLATION, THE CONTRACTOR IS TO FLUSH AND CLEAN ALL SEWERS, HANDBLES AND CATCH BASINS.
 21. THE CONTRACTOR IS TO ARRANGE FOR INSPECTION AND APPROVAL FOR ALL WORKS CONSTRUCTED ON STREETS FROM THE TOWN OF AMHERSTBURG.
- The Following Ontario Provincial Standard Drawings shall be used on this Project
- SPS-48202 Catchbasin, cast iron, frame and flat square grate
 - SPS-48203 Maintenance hole, cast iron cover and square frame
 - SPS-48204 Maintenance hole steps - hollow
 - SPS-48205 Maintenance hole steps - solid
 - SPS-60419 Concrete barrier curb - CURB TYPE 'A'
 - SPS-68804 Concrete semi-rigidizable curb with standard gutter - CURB TYPE 'B'
 - SPS-48820 Method of termination for curb & gutter
 - SPS-70400 Precast maintenance hole - 1200mm diameter
 - SPS-70401 Maintenance hole benching details
 - SPS-70402 Precast concrete maintenance hole components - 1200mm diameter
 - SPS-70403 Precast concrete catchbasin 600x600, depth - 400 mm
 - SPS-70404 Catchbasin connection right pipe sewer
 - SPS-70405 Catchbasin connection flexible pipe sewer

SCHEDULE "D" TO BY-LAW 2011-67

RICHMOND TERRACE LIMITED
Peter Schuller
PRESIDENT, PETER SCHULLER

TOWN OF AMHERSTBURG
Wayne Hurst
MAYOR, WAYNE HURST
Brenda M. Percy
CLERK- BRENDA M. PERCY

ISSUED FOR SITE PLAN APPROVAL
MAY 02, 2011 REVISED JUNE 08, 2011



No.	Date	Revised

RICHMOND TERRACE L.T.C.F.
88 RAMON AVENUE
AMHERSTBURG, ONTARIO
L7Y 1K1
72-000
DATE: 06/18/11
SCALE: N.T.S.
SITE SERVICE PLAN

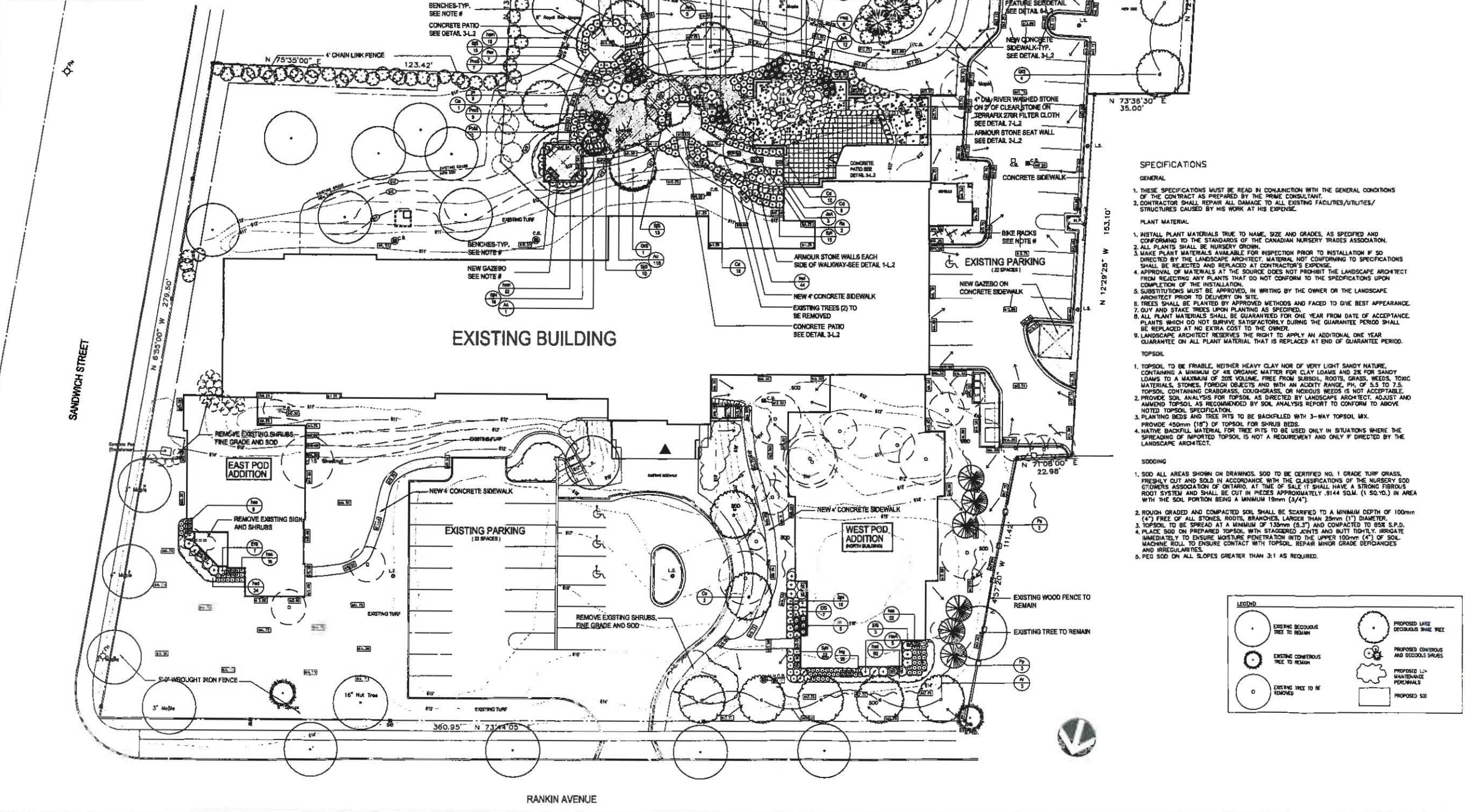


JAKVINCENT SERVICES
A DIVISION OF WILSON ENGINEERING
CIVIL ENGINEERING
2000 HURONTARIO ROAD, SUITE 112
LONDON, ONTARIO, CANADA N6A 3L6
PH: 519-772-2000 FAX: 519-772-0004

Drawing No. **SS2**

PLANT LIST	SYMBOL	COMMON NAME	NO	SIZE	DEPTH	REMARKS	NATIVE	DROUGHT TOLERANCE	SPECIES
TRN8	AC	AVICARIA DECORATIVE	1	50cm	150	B&B	Y	XXX	0.2
	CT	CT	5	50cm	150	B&B	Y	X	0.7
	CT	CT	4	50cm	150	B&B	Y	XXX	0
	CT	CT	8	50cm	150	B&B	N	XXX	0.2
	CT	CT	6	20cm	150	B&B	N	XXX	0
	CT	CT	2	20cm	150	B&B	N	XXX	0
SHRUBS	AJ	ARCTIC BARREN	1	30cm	150	B&B	Y	XXX	0.2
	CA	COTONWOOD	1	30cm	150	POT	N	XXX	0.2
	EE	ELDER	2	50cm	150	POT	N	X	0.7
	HA	HAWTHORN	3	80cm	150	POT	N	X	0.7
	JA	JAPANESE SPRING	30	50cm	150	POT	N	XXX	0
	KA	KORONAVIRUS	8	80cm	150	POT	Y	XX	0.5
	PLS	PANICLE	38	40cm	150	POT	N	XXX	0.2
	PLS	PANICLE	2	40cm	150	POT	Y	XXX	0.2
	PLS	PANICLE	7	50cm	150	POT	Y	XXX	0
	PLS	PANICLE	21	50cm	150	POT	N	X	0.7
	PLS	PANICLE	48	50cm	150	POT	N	X	0.7
PERENNIALS AND GRASSES	Pm	PANICLE	30	1 GAL	POT	PLANT 1/2 C.C.	N	XXX	0.2
	Pm	PANICLE	28	1 GAL	POT	N	X	0.7	
	Pm	PANICLE	128	1 GAL	POT	PLANT 1/2 C.C.	N	XXX	0.2
	Pm	PANICLE	48	1 GAL	POT	N	X	0.7	
	Pm	PANICLE	20	1 GAL	POT	N	XXX	0	
	Pm	PANICLE	19	1 GAL	POT	N	XXX	0	
	Pm	PANICLE	32	1 GAL	POT	PLANT 1/2 C.C.	Y	XXX	0.7

SYMBOLOGY
 X: AREAS NOT TO BE MOVED
 X: AREAS NOT TO BE MOVED
 X: AREAS NOT TO BE MOVED
 X: AREAS NOT TO BE MOVED



RICHMOND STREET

SANDWICH STREET

RANKIN AVENUE

- GENERAL NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF ALL UNDERGROUND UTILITIES.
 2. ALL DISCREPANCIES ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY, AND BEFORE PROCEEDING WITH WORK OR SHOP DRAWINGS.
 3. ALL SUBSTITUTIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
 4. THE BASE INFORMATION WAS OBTAINED FROM APONS HEALTH SERVICES.
 5. THIS DRAWING IS THE PROPERTY OF VAFIADES LANDSCAPE ARCHITECT AND MAY NOT BE USED FOR CONSTRUCTION WITHOUT THE PERMISSION OF THE LANDSCAPE ARCHITECT.
 6. ALL WOOD IS TO BE PRESSURE TREATED AND FREE OF CRACKS, CHECKS, AND EXCESSIVE KNOTS.
 7. ALL SOO IS TO THE CURB, UNLESS OTHERWISE NOTED.
 8. DO NOT SCALE DRAWINGS.

- NOTES:
1. ALL PLANT MATERIAL TO BE IN LANDSCAPE BEDS AND HAVE MIN. 3" SHROUDED PINE "GRO-BARK" MULCH.
 2. ALL PLANT MATERIAL BEDS TO HAVE MIN. 1"-0 3-WAY TOPSOIL, MAX.

SCHEDULE "E" TO BY-LAW 2011-67

RICHMOND TERRACE LIMITED
Peter Schuller
 PRESIDENT, PETER SCHULLER

TOWN OF AMHERSTBURG
Wayne Hurst
 MAYOR, WAYNE HURST

Brenda M. Percy
 CLERK, BRENDA M. PERCY

SPECIFICATIONS

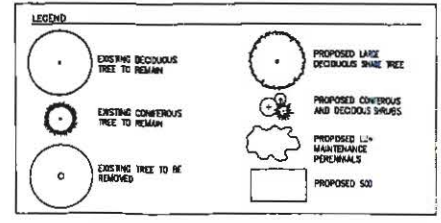
GENERAL

1. THESE SPECIFICATIONS MUST BE READ IN CONJUNCTION WITH THE GENERAL CONDITIONS OF THE CONTRACT AS PREPARED BY THE PRIME CONSULTANT.
2. CONTRACTOR SHALL REPAIR ALL DAMAGE TO ALL EXISTING FACILITIES/UTILITIES/STRUCTURES CAUSED BY HIS WORK AT HIS EXPENSE.

- PLANT MATERIAL
1. INSTALL PLANT MATERIAL TRUE TO NAME, SIZE AND GRADES, AS SPECIFIED AND CONFORMING TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION.
 2. ALL PLANTS SHALL BE NURSERY GROWN.
 3. MAKE PLANT MATERIALS AVAILABLE FOR INSPECTION PRIOR TO INSTALLATION IF SO DIRECTED BY THE LANDSCAPE ARCHITECT. MATERIAL NOT CONFORMING TO SPECIFICATIONS SHALL BE REJECTED AND REPLACED AT CONTRACTOR'S EXPENSE.
 4. APPROVAL OF MATERIALS AT THE SOURCE DOES NOT PROHIBIT THE LANDSCAPE ARCHITECT FROM REJECTING ANY PLANTS THAT DO NOT CONFORM TO THE SPECIFICATIONS UPON COMPLETION OF THE INSTALLATION.
 5. SUBSTITUTIONS MUST BE APPROVED, IN WRITING BY THE OWNER OR THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON SITE.
 6. TREES SHALL BE PLANTED BY APPROVED METHODS AND FACED TO GIVE BEST APPEARANCE.
 7. GUAY AND STAKE TREES UPON PLANTING AS SPECIFIED.
 8. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE. PLANTS WHICH DO NOT SURVIVE SATISFACTORILY DURING THE GUARANTEE PERIOD SHALL BE REPLACED AT NO EXTRA COST TO THE OWNER.
 9. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPLY AN ADDITIONAL ONE YEAR GUARANTEE ON ALL PLANT MATERIAL THAT IS REPLACED AT END OF GUARANTEE PERIOD.

- TOPSOIL
1. TOPSOIL TO BE FRABLE, NEITHER HEAVY CLAY NOR OF VERY LIGHT SANDY NATURE, CONTAINING A MINIMUM OF 4% ORGANIC MATTER FOR CLAY LOAMS AND 2% FOR SANDY LOAMS TO A MAXIMUM OF 20% VOLUME. FREE FROM SUBSOIL, ROOTS, GRASS, WEEDS, TOXIC MATERIALS, STONES, FOREIGN OBJECTS AND WITH AN ACIDITY RANGE, PH, OF 5.5 TO 7.5. TOPSOIL CONTAINING CRABGRASS, COUGHGRASS, OR NOBIUS WEEDS IS NOT ACCEPTABLE.
 2. PROVIDE SOIL ANALYSIS FOR TOPSOIL AS DIRECTED BY LANDSCAPE ARCHITECT. ADJUST AND AMEND TOPSOIL AS RECOMMENDED BY SOIL ANALYSIS REPORT TO CONFORM TO ABOVE NOTED TOPSOIL SPECIFICATION.
 3. PLANTING BEDS AND TREE PITS TO BE BACKFILLED WITH 3-WAY TOPSOIL, MAX. PROVIDE 450mm (18") OF TOPSOIL FOR SHRUB BEDS.
 4. NATIVE BACKFILL MATERIAL FOR TREE PITS TO BE USED ONLY IN SITUATIONS WHERE THE SPREADING OF IMPORTED TOPSOIL IS NOT A REQUIREMENT AND ONLY IF DIRECTED BY THE LANDSCAPE ARCHITECT.

- SODDING
1. SOO ALL AREAS SHOWN ON DRAWINGS. SOO TO BE CERTIFIED NO. 1 GRADE TURF GRASS, FREELY CUT AND SOLD IN ACCORDANCE WITH THE CLASSIFICATIONS OF THE NURSERY SOO GROWERS ASSOCIATION OF ONTARIO. AT TIME OF SALE IT SHALL HAVE A STRONG FIBROUS ROOT SYSTEM AND SHALL BE CUT IN PIECES APPROXIMATELY .914 SQ.M. (1 SQ.YD.) IN AREA WITH THE SOIL PORTION BEING A MINIMUM 19mm (3/4").
 2. ROUGH GRADED AND COMPACTED SOIL SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 100mm (4") FREE OF ALL STONES, ROOTS, BRANCHES, LARGER THAN 25mm (1") DIAMETER.
 3. TOPSOIL TO BE SPREAD AT A MINIMUM OF 150mm (6") AND COMPACTED TO ROSE S.P.D.
 4. PLACE SOO ON PREPARED TOPSOIL WITH STAGGERED JOINTS AND BUTT TIGHTLY. IRRIGATE IMMEDIATELY TO ENSURE MOISTURE PENETRATION INTO THE UPPER 100mm (4") OF SOIL. MACHINE ROLL TO ENSURE CONTACT WITH TOPSOIL. REPAIR MINOR GRADE DEFICIENCIES AND IRREGULARITIES.
 5. PEG SOO ON ALL SLOPES GREATER THAN 3:1 AS REQUIRED.



REVISION LIST:

DATE	DESCRIPTION	BY	APP.
09/29/11	ISSUED FOR REVIEW	JNV	

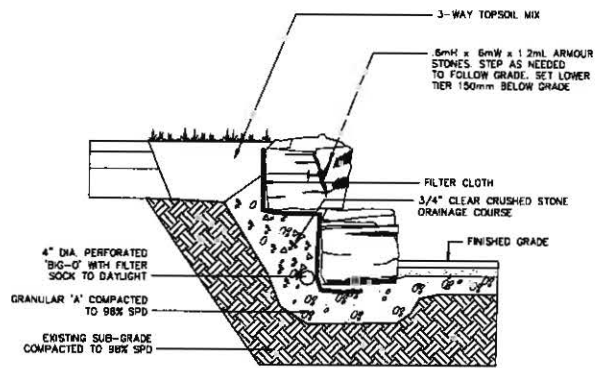


PROJECT TITLE:
RICHMOND TERRACE
 L.T.C.F.
APANS Health Services
 AMHERSTBURG ONTARIO

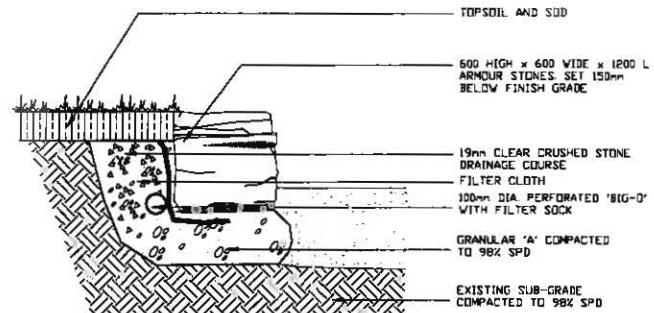
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LANDSCAPE PLAN

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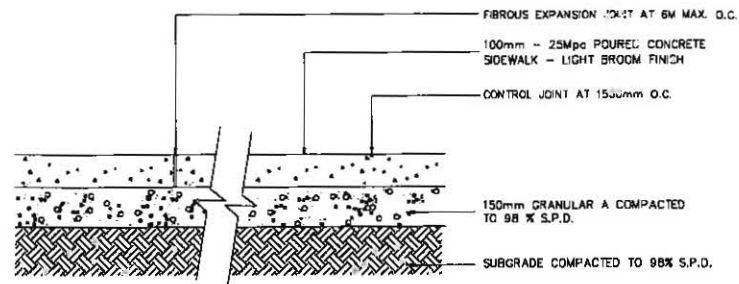
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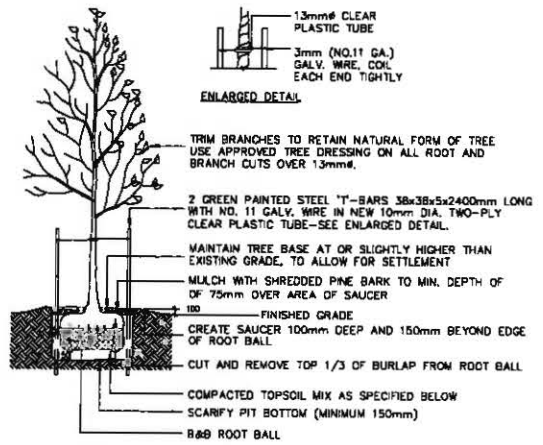
1 L2 ARMOUR STONE RETAINING WALL DETAIL



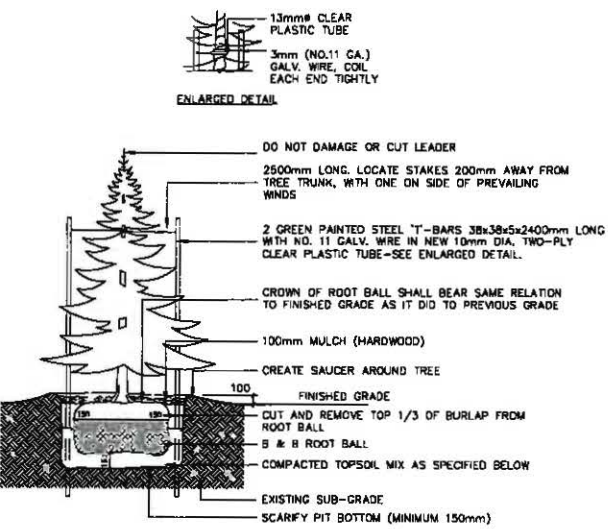
2 L2 ARMOUR STONE SEAT WALL DETAIL



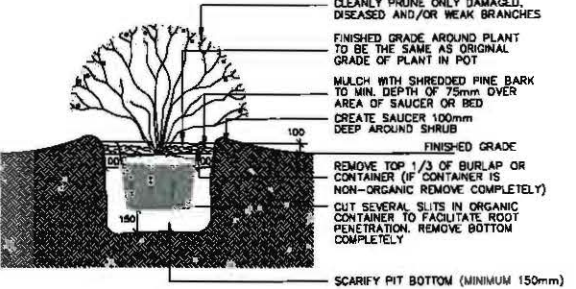
3 L2 CONCRETE SIDEWALK DETAIL NTS



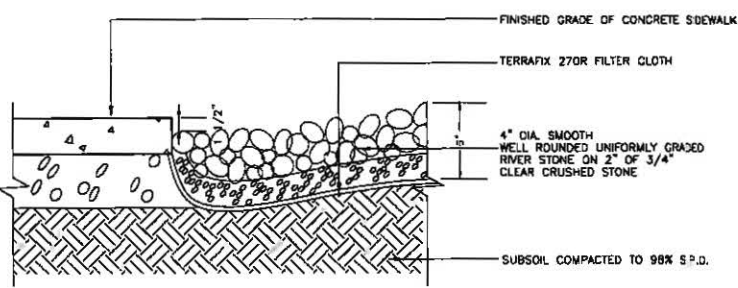
4 L2 DECIDUOUS TREE DETAIL



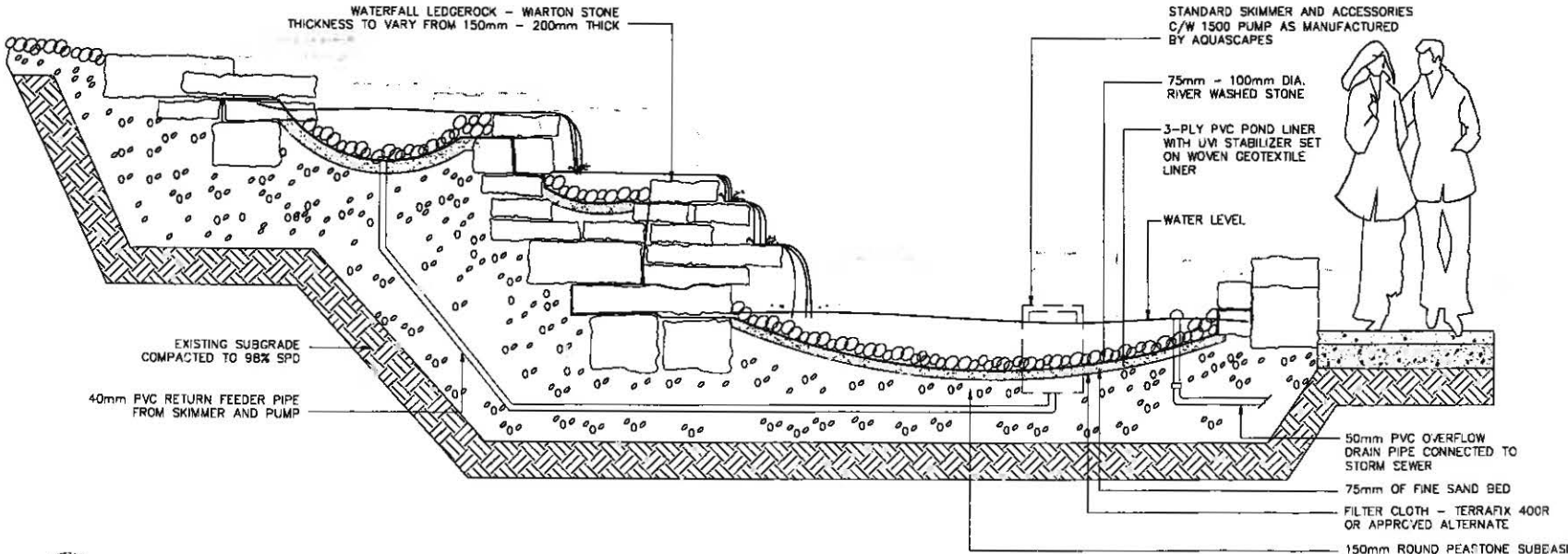
5 L2 CONIFEROUS TREE DETAIL



6 L2 SHRUB PLANTING DETAIL



7 L2 RIVERSTONE DETAIL NTS



8 L2 NATURAL STONE WATER FEATURE DETAIL NTS

GENERAL NOTES:
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 3. ALL SUBSTITUTIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECTS.
 4. THE BASE INFORMATION WAS OBTAINED FROM APANS HEALTH SERVICES.
 5. THIS DRAWING IS THE PROPERTY OF VAFIADES LANDSCAPE ARCHITECT AND MAY NOT BE USED FOR CONSTRUCTION WITHOUT THE PERMISSION OF THE LANDSCAPE ARCHITECT.
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 7. ALL SOIL IS TO THE CURB, UNLESS OTHERWISE NOTED.
 8. DO NOT SCALE DRAWINGS.

NOTES:
 1. ALL PLANT MATERIAL TO BE IN LANDSCAPE BEDS AND HAVE MAX. 3\"/>

SCHEDULE "F" TO BY-LAW 2011-87

RICHMOND TERRACE LIMITED
Peter Schuller
 PRESIDENT, PETER SCHULLER

TOWN OF AMHERSTBURG
Wayne Hurst
 MAYOR, WAYNE HURST

Brenda M. Percy
 CLERK- BRENDA M. PERCY

REVISION LIST:

DATE	DESCRIPTION	BY	#
02/28/11	ISSUED FOR REVIEW	JN	1

PROJECT TITLE:
 RICHMOND TERRACE
 L.T.C.F.
 APANS
 Health Services
 AMHERSTBURG ONTARIO

DRAWING TITLE:
 DETAILS

JOB #	09-(02)	DATE	11/30/09
DESIGN	JN	HC-FILE:	
DRAWN	JN	C-FILE:	C:/09/
CHECKED	JN	SCALE:	AS NOTED

L2

SCHEDULE "G(a)" TO BY-LAW 2011-67

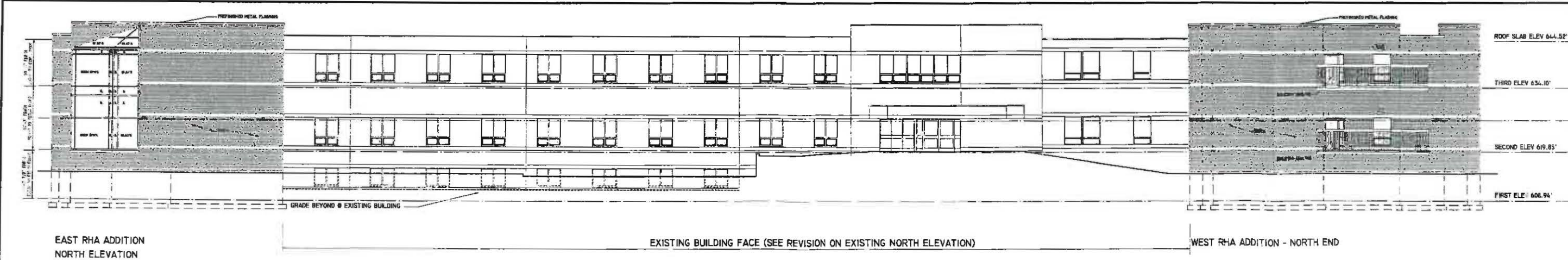
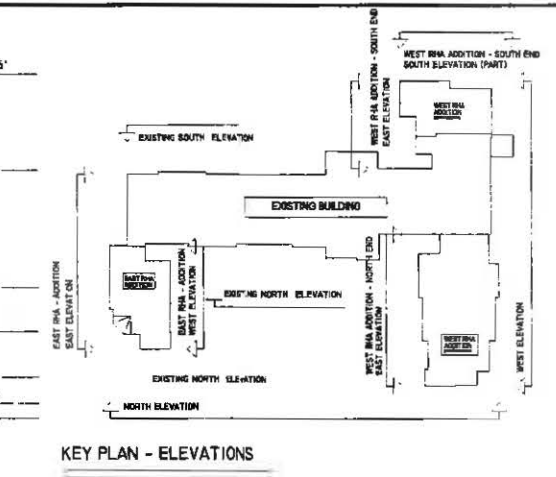
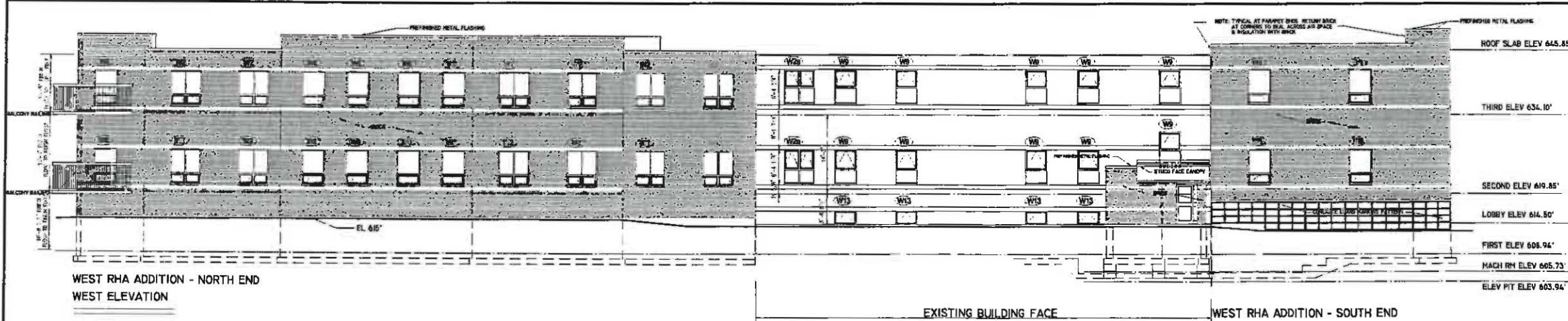
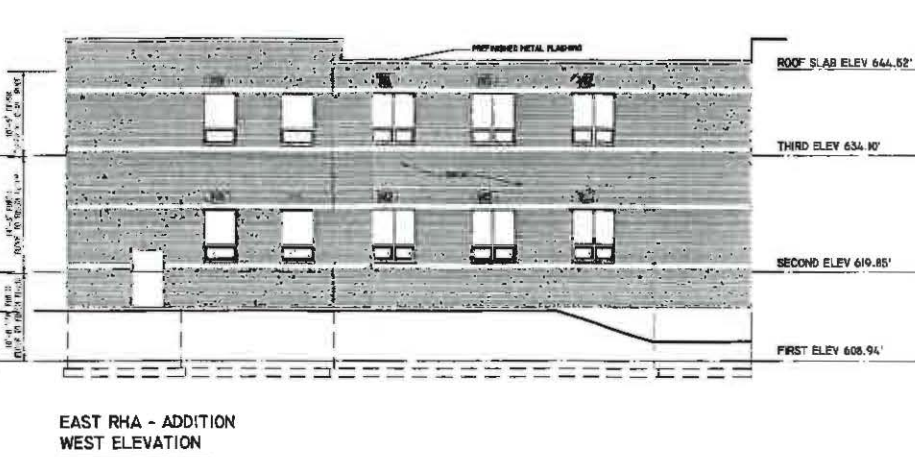
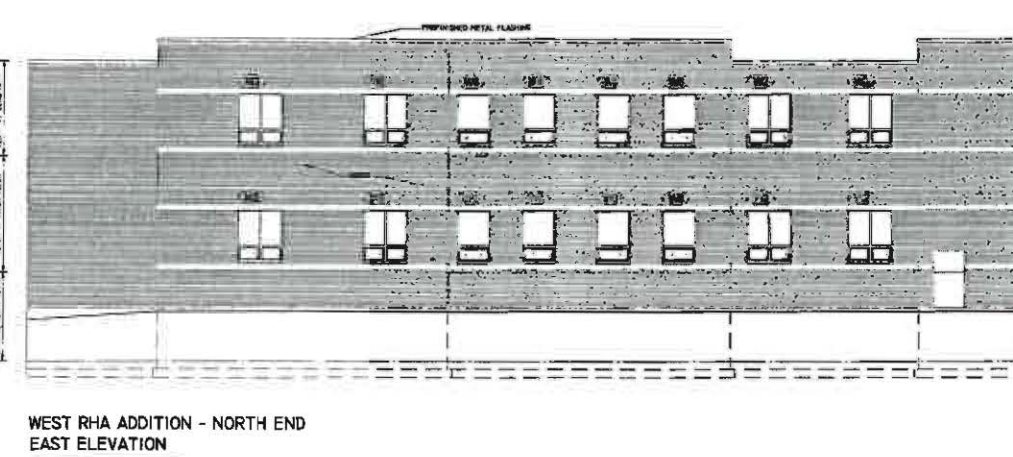
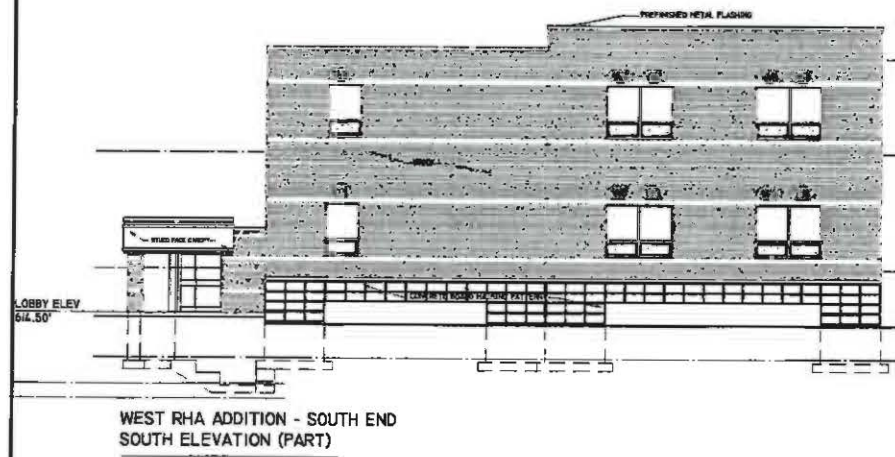
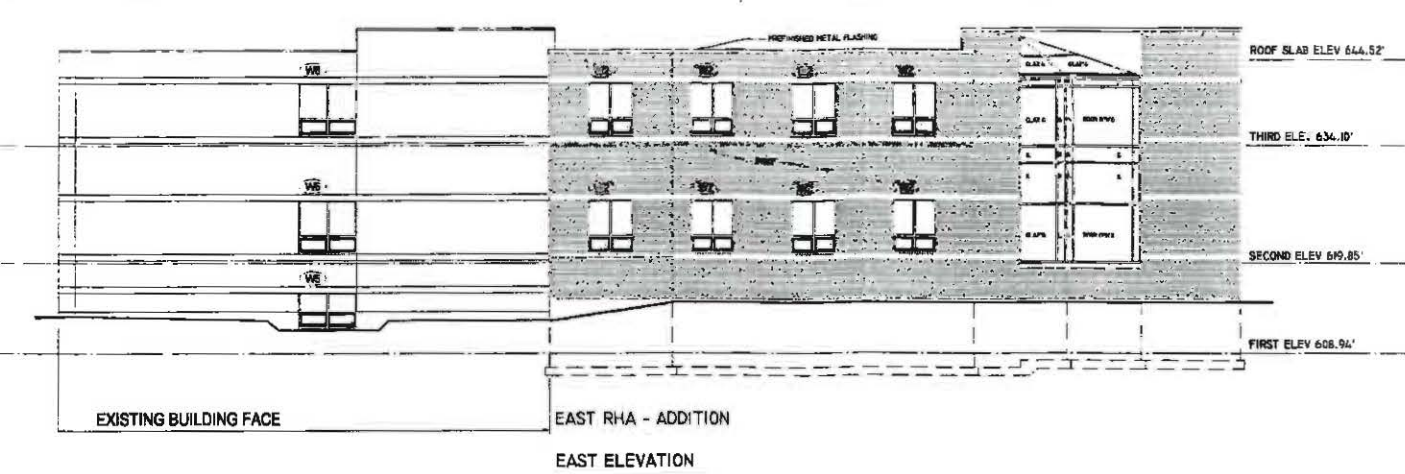
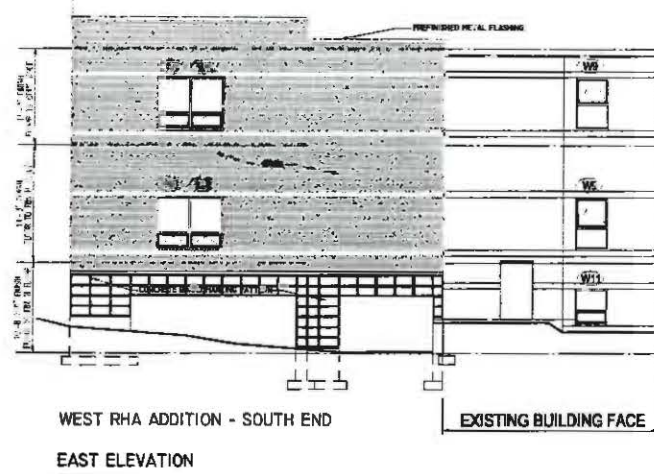
RICHMOND TERRACE LIMITED

Peter Schuller
PRESIDENT, PETER SCHULLER

TOWN OF AMHERSTBURG

Wayne Hurst
MAYOR WAYNE HURST

Brenda M. Percy
CLERK- BRENDA M. PERCY



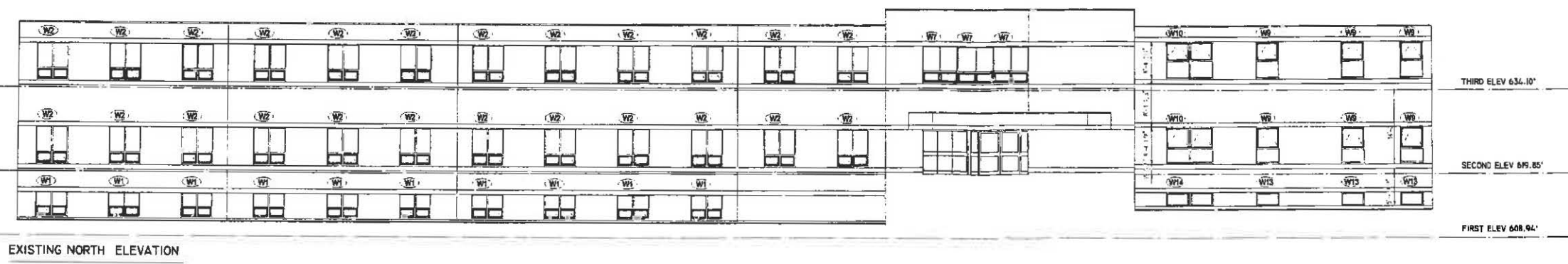
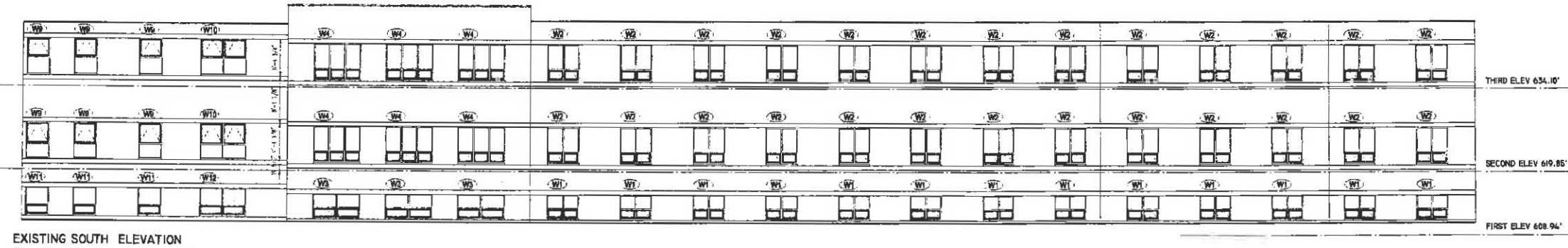
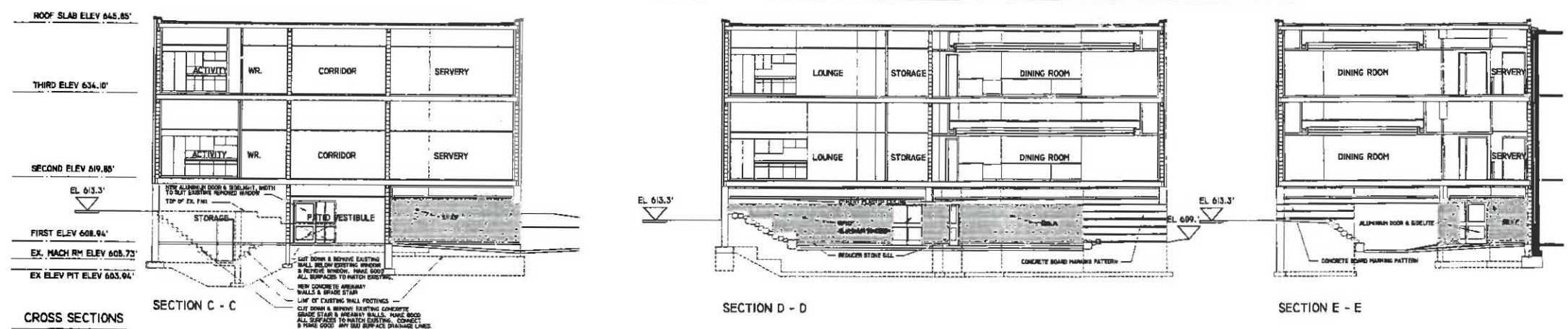
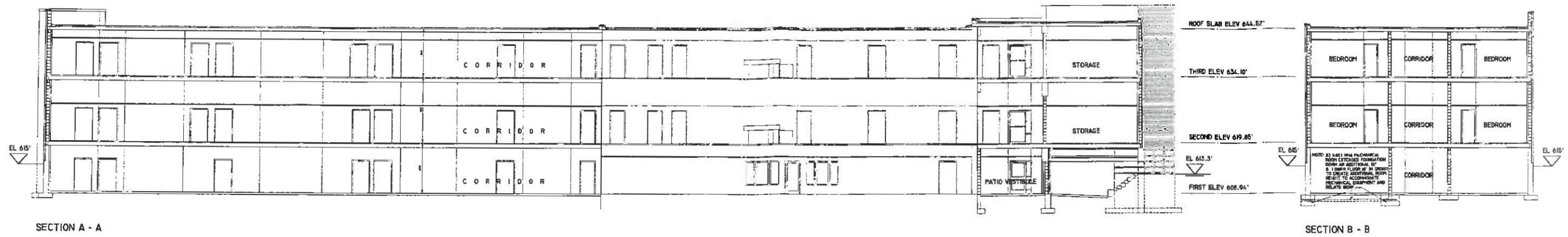
APANS Health Services
241 Centre Ave. Cambridge, ON N6B 5G6
(519) 872-6888 Fax: (519) 872-6779

RICHMOND TERRACE L.T.C.F.
177 HANCOCK STREET
AMHERSTBURG, ONTARIO
ELEVATIONS

Scale: NTS
Date: 02/23/10
Drawn: [Name]
Checked: [Name]
No. [Number]
Sheet: 72-00

LOUIS COOKE, Architect
771 North Mile Road, London, ON, Canada
Tel: (519) 941-1900 Fax: (519) 941-1911
E-mail: lcooke@louiscooke.com

Drawing No. 1719



SCHEDULE "G(b)" TO BY-LAW 2011-67

RICHMOND TERRACE LIMITED

Peter Schuller
PRESIDENT, PETER SCHULLER

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