

**Properties**

PIN 01549 - 0205 LT  
 Description PT NW 1/4 LT 9 CON 2 ANDERDON PT 1, 12R12958; PT N 1/2 LT 10 CON 2  
 ANDERDON PT 4, 12R12958 & PT 1, 12R13638; PT SW 1/4 LT 10 CON 2 ANDERDON  
 PT 2, 12R12958; AMHERSTBURG  
 Address AMHERSTBURG

**Consideration**

Consideration \$0.00

**Applicant(s)**

The notice is based on or affects a valid and existing estate, right, interest or equity in land

Name 1710690 ONTARIO INC.  
 Address for Service c/o Dillon Consulting  
 3200 Deziel Dr., Suite308  
 Windsor, On

I, Loris Collavino, have the authority to bind the corporation.

This document is not authorized under Power of Attorney by this party.

**Party To(s)****Capacity****Share**

Name THE CORPORATION OF THE TOWN OF AMHERSTBURG  
 Address for Service 271 Sandwich St. S.  
 Amherstburg, On

This document is being authorized by a municipal corporation Lory Bratt, AMCT, Planning Coordinator.

This document is not authorized under Power of Attorney by this party.

**Statements**

This notice is pursuant to Section 71 of the Land Titles Act.

This notice is for an indeterminate period

Schedule: See Schedules

**Signed By**

Armando Felice Antonio DeLuca 500-251 Goyeau Street acting for Signed 2009 01 21  
 Windsor Applicant(s)  
 N9A 6V2

Tel 519-258-0615

Fax 5192586833

**Submitted By**

MOUSSEAU DELUCA MCPHERSON PRINCE 500-251 Goyeau Street 2009 01 21  
 Windsor  
 N9A 6V2

Tel 519-258-0615

Fax 5192586833

**Fees/Taxes/Payment**

Statutory Registration Fee \$60.00

Total Paid \$60.00

**File Number**

Applicant-Client File Number : 23682

**File Number**

Party To Client File Number : 23682

**DEVELOPMENT AGREEMENT**

Registered \_\_\_\_\_, 2008.

**THIS AGREEMENT** made in triplicate this 15<sup>th</sup> day of December, 2008.

BETWEEN:

**1710690 ONTARIO INC.**  
hereinafter called the "OWNER"

OF THE FIRST PART;

-and-

**THE CORPORATION OF THE  
TOWN OF AMHERSTBURG**  
hereinafter called the "CORPORATION"

OF THE SECOND PART;

**WHEREAS** the lands affected by this Agreement are described in Schedule "A" attached hereto, and are hereinafter referred to as the "said lands";

**AND WHEREAS** the Owner warrants it is the registered owner of the said lands;

**AND WHEREAS**, in this Agreement the "Owner" includes an individual, an association, a partnership or corporation and, wherever the singular is used therein, it shall be construed as including the plural;

**AND WHEREAS** the Owner intends to develop or redevelop the said lands for a solar energy system in accordance with the Site Plan attached hereto as Schedule "B", and hereinafter referred to as the "Site Plan";

**AND WHEREAS** the Corporation as a condition of development or redevelopment of the said lands requires the Owner to enter into a Development Agreement;

**NOW THEREFORE THIS AGREEMENT WITNESSETH** that in consideration of other goods and valuable consideration and the sum of FIVE (\$5.00) DOLLARS of lawful money of Canada, now paid by each of the parties hereto to each of the other parties hereto, (the receipt of which is hereby acknowledged), the Owner hereby covenants and agrees with the Corporation as follows:

1. The following Schedules, which are identified by the signatures of the parties to this Agreement, and which are attached hereto, are hereby made a part of this Agreement as fully and to all intents and purposes as though recited in full herein:

SCHEDULE "A"	-	Legal description of the said lands
SCHEDULE "B" ("B-1" to "B-4")	-	Site Plan Drawings
SCHEDULE "B-1"	-	General Plan (Drawing 1A)
SCHEDULE "B-2"	-	Detail Area 1 (Drawing 2A)
SCHEDULE "B-3"	-	Detail Area 2 (Drawing 3A)
SCHEDULE "B-4"	-	Detail Area 3 (Drawing 4A)
SCHEDULE "C" ("C-1" to "C-5")	-	Landscape Plan Drawings
SCHEDULE "C-1"	-	General Landscape Plan (Drawing 5A)
SCHEDULE "C-2"	-	Landscape Detail Area 1 (Drawing 6A)
SCHEDULE "C-3"	-	Landscape Detail Area 2 (Drawing 7A)
SCHEDULE "C-4"	-	Landscape Detail Area 3 (Drawing 8A)
SCHEDULE "C-5"	-	Details- Planting Specifications (Drawing 5D)

SCHEDULE "D"	-	Details Substation (Drawing 1D)
SCHEDULE "E"	-	Tracker Equipment Pad (Drawing 2D)
SCHEDULE "F"	-	Details- Typical Tracker (Drawing 3D)
SCHEDULE "G"	-	Detail- Fence and Gate (Drawing 4D)
SCHEDULE "H"	-	Drainage Plan (Drawings 8A & 8B)
SCHEDULE "I"	-	Stormwater Management Report

2. Schedule "A" hereto describes the lands affected by this Agreement.
3. Schedule "B" hereto shows:
  - (a) Site Boundary;
  - (b) Location of proposed tracker units;
  - (c) Location of living fence buffer;
  - (d) Location of tall grass prairie with shrub buffer;
  - (e) Location of tall grass prairie buffer;
  - (f) Location of roadside buffer;
  - (g) Location of fence;
  - (h) Location of access road;
  - (i) Location of inverter;
  - (j) Location of underground electrical wireway;
  - (k) Location of Staging Area.
4. Schedule "C" hereto shows:
  - (a) Landscape Plan and Details
5. Schedule "D" hereto shows:
  - (a) Substation Details
6. Schedule "E" hereto shows:
  - (a) Tracker Equipment Pad Details
7. Schedule "F" hereto shows:
  - (a) Typical Tracker Details
8. Schedule "G" hereto shows:
  - (a) Fence and Gate Details
9. Schedule "H" hereto shows:
  - (a) Drainage Plan
10. Schedule "I" hereto shows:
  - (a) Stormwater Management Report – Stormwater Management Report dated October 2008 together with letter dated December 5, 2008 prepared by C.D. Patten, P.Eng., Dillon Consulting.
11. The Owner shall be responsible for consulting with and obtaining any necessary approvals from Hydro One regarding any matters that relate to services provided by Hydro One. Further the Owner shall be responsible for any costs associated with the reconstruction, relocation or changes to the hydro system resulting from this development.

12. The Owner shall be responsible for consulting with and obtaining any necessary approval from the Ministry of the Environment and the Essex Region Conservation Authority.

13. Construction and Truck Routes

The Owner agrees and shall be responsible for the construction of all perimeter granular base roads prior to the installation of the solar trackers on the site. The haul route for Site "A" during the entire construction of this development shall use County Road 20, County Road 8 and County Road 3 to North Sideroad. The Owner shall adhere to load restrictions in effect at the time of construction for both County and municipal roads.

Construction will take place on a daily basis between the hours of 7:30 a.m. and 4:30 p.m., Monday to Friday.

The Owner to ensure that trucks and equipment leaving the site are not laden with dirt, mud or debris. The Owner shall keep the highway surfaces clean of any debris and upon notice from the Corporation the Owner must immediately clean any debris off the highway. Failure of the Owner to respond will result in the Corporation arranging for the cleaning and invoicing the Owner which expense may also be recovered on the municipal taxes of the subject property.

If any municipal services or highway surfaces of the Corporation are damaged during the development, such damage shall be repaired or replaced by the Owner to the satisfaction of the Corporation. Failure of the Owner to repair or replace such damage will result in the Corporation arranging for the repair and/or replacement and invoicing the Owner which expense may also be recovered on the municipal taxes of the subject property.

14. Snow Removal

Snow removal from the access roads and within the site shall be the responsibility of the Owner.

15. Driveway Accesses

All new accesses and/or improvement to existing accesses shall be in consultation with and in accordance with the requirements of the Corporation's Public Works Manager and Drainage Superintendent and shall be installed at the expense of the Owner. A new access over a Municipal Drain requires a report prepared by a drainage engineer under the Drainage Act. The Corporation may allow a letter of recommendation for any new access over a municipal drain from a drainage engineer with the new culvert being incorporated into the drain when a future report is required.

16. Stormwater Management

The development of the site requires special measures to deal with stormwater management as follows:

- (a) The Owner shall undertake a site grading plan and a stormwater management analysis as indicated in Schedule "I" to the satisfaction of the Corporation and the Essex Region Conservation Authority.
- (b) The Owner shall install stormwater management measures as approved by the Corporation and the Essex Region Conservation Authority as part of the development of this site, to the satisfaction of the Corporation and the Essex Region Conservation Authority.
- (c) The Owner shall obtain the necessary permits and/or clearance prior to construction activities and/or site alterations.

- (d) The Owner shall conduct regular inspections once every two weeks and after each sizable storm event of all sediment and erosion control measures recommended in the approved stormwater management plan during the construction plan.
- (e) The Owner shall maintain an inspection log which shall be made available for review by the Corporation and the Essex Region Conservation Authority, upon request. The log shall state the name of the inspector, date of the inspection and rectification or replacement measures which were taken to maintain the sediment and erosion control measures. Inspections shall continue until development of the site is complete and approved by the Corporation.
- (f) The Owner acknowledges that this site is affected by both roadside ditches and municipal drains. Roadside ditch maintenance is performed from the road and will not affect this development. Municipal drainage maintenance is performed from the private property side of the drain with the spoils being spread over the adjacent lands. Therefore a twenty (20ft.) foot wide corridor must remain on the private property side of the drain clear of fences, trees and shrubs. Alternatively, the Corporation would allow for a letter of understanding drafted by a drainage engineer, approved by the Owner and acceptable to the Corporation providing that maintenance work would be performed from the road side of the drain and the spoils trucked away. The associated trucking costs for the particular length of drain adjacent to the development would be assessed to the Owner. This letter of understanding will be utilized for maintenance works until such time as a new drainage report is required. This site is affected by the 2<sup>nd</sup> Concession Drain located on the east side of the 2<sup>nd</sup> Concession North.

17. Any garbage or refuse that is stored outside shall be stored in a non-combustible container and maintained so that garbage or refuse does not blow or fall out of the container.

18. Lighting

Any and all lighting shall be installed and maintained in accordance with the standards set out in the Town's Development Manual so as to not, in the opinion of the Corporation interfere with the use or enjoyment of adjacent properties or with the safe flow of traffic on abutting or adjacent streets.

In addition to the requirement of full cut-off (directional lighting) the type, amount and intensity of lighting will also be a consideration in consultation with the Corporation to prevent undue light pollution.

19. Landscaping

- (a) The Owner shall landscape and maintain in plants and ground cover acceptable to the Corporation those lands so indicated on Schedule "C-1 to C-5" inclusive.
- (b) The Owner agrees that the site will be inspected on an annual basis and any deficiencies as determined by the Corporation will require immediate correction in accordance with the approved site plan.
- (c) The Owner agrees that where there are deficiencies or loss due to natural causes or management related issues in those areas which provide a visual buffer for neighbouring residences those deficiencies or losses will be corrected to the satisfaction of the Corporation. Failure of the Owner to correct the deficiency or loss as determined by the Corporation will result in the Corporation arranging for the replacement and invoicing the Owner which expense may also be recovered on the municipal taxes of the subject property.
- (d) The Owner agrees that those lands located on this site outside of the solar energy system development shall continue to be cropped, maintained and kept free of weeds.

20. Fencing

The Owner agrees to construct a fence on those lands indicated on Schedule "B" in accordance with the fence detail forming part of Schedule "G". The Owner agrees that the site will be inspected on an annual basis and any deficiencies as determined by the Corporation will require immediate correction in accordance with the approved site plan.

The Owner also agrees that the fence will be installed to allow for easy movement on and off the site for small wildlife, so that they may take advantage of the diverse environment. This may be in the form of small tunnels or small sections of elevated fence.

21. Geo-Technical

The Owner and Corporation acknowledge correspondence dated April 11, 2007 from James D. Rodger, P. Eng. with Golder Associates Ltd. regarding a geo-technical investigation which results indicated that the sub-surface soil conditions appear appropriate to support development of the type proposed for this site.

22. Start Up of the Solar Energy System

- (a) The Owner shall notify the Corporation at least one week prior to the proposed start up date of the solar energy system in order to arrange for a site inspection system to be conducted.
- (b) The Owner shall not start up the solar energy system on the site before the applicable provisions of this Agreement are complied with.
- (c) The Owner shall ensure that the applicable approvals and regulations of Hydro One and all other governing authorities are adhered to.
- (d) The Owner shall ensure that Hydro One will monitor the site's connection point to the electricity system and will be able to identify any major electrical problems associated with the solar energy system, disconnecting it from the grid if necessary.

23. Decommissioning and Indemnification

A. Definition

"Decommissioning" means the process of removing the solar energy systems, including all appliances and appurtenances thereto, and remediating the lands to a condition in compliance with all applicable environmental legislation, regulations, procedures and policies and with the surface of the Lands restored as close as possible to their former condition and use.

B. Indemnification

The Owner shall at all times indemnify and save the Corporation harmless from and against any and all claims, demands, losses, costs, charges expenses, actions and other proceedings (including those in connection with workplace safety and insurance compensation or any similar or successor arrangement) made, brought against, suffered by, imposed on or incurred by the Corporation in respect of any failure by the Owner to fulfill any of its obligations under this Agreement, including but not limited to the costs associated with decommissioning incurred by or on behalf of the Corporation, as a result of any loss, damage or injury (including injury resulting in death) to any person or property (including, but not limited to, employees, contractors, agents and property of the Corporation) directly arising out of, resulting from or sustained by reason of the Owner's occupation, use or decommissioning of the Lands, or any operation in connection therewith or any fixtures or chattels thereon.

C. Corporations Responsibility

The Corporation shall not under any circumstances be responsible for or be required to decommission the Lands or to incur any costs associated therewith. The Corporation may, in its sole discretion, undertake, in whole or in part, the decommissioning and incur the costs associated therewith, and shall collect those costs as set out herein, which costs shall remain the responsibility of the Owner.

D. Decommissioning Events

In the event that the following events have occurred or in the reasonable opinion of the Corporation are likely to occur, the Owner:

- (a) ceases to carry on business for a period greater than 30 consecutive days;
- (b) gives notice of an intention to cease to carry on business;
- (c) be dissolved;
- (d) makes an assignment, arrangement or composition with or for the benefit of its creditors;
- (e) institutes or is subject to a proceeding in bankruptcy or insolvency, or seek any relief affecting creditor's rights;
- (f) has a resolution passed for its winding up or its liquidation;
- (g) seeks or becomes subject to the appointment of an administrator, provisional liquidator, conservator, receiver, trustee, custodian or other official for it or for all or substantially all of its assets by reason of its insolvency;
- (h) has a secured creditor take possession of all or substantially all its assets or has a distress, execution, attachment, sequestration or other legal process levied, enforced or sued on or against all or substantially all its assets;
- (i) fails to post such security as may be required by the Corporation, including such security as may be required by this Agreement;
- (j) termination of this Agreement and/or the development; or
- (k) takes any step to or permits itself to be restructured, or any act which result in a change of control of the Owner.

The Owner shall commence decommissioning forthwith, and shall complete decommissioning within a reasonable period of time.

E. Default in Decommissioning

In the event that the Owner fails to commence or to complete decommissioning of the Lands as required by this Agreement, the Corporation may take such steps as are necessary to decommission the Lands, as required herein. The Owner shall be responsible for the costs of the decommissioning incurred by or on behalf of the Corporation. The Owner agrees that the cost of decommissioning incurred by or on behalf of the Corporation shall be deemed to be municipal taxes, and shall be a charge upon the lands, premises, fixtures and chattels that are or were located on those lands and premises in the same manner as municipal taxes. Further, the cost of decommissioning shall be collectible and shall have the same priority as municipal taxes. The Owner shall give notice to all secured creditors of the rights of the Corporation hereunder.

F. Representations and Warranties with Respect to the Cost of Decommissioning

The Owner represents and warrants that the costs of the decommissioning of the Lands and as required does not currently and shall not in the future exceed the net recycled values, after the costs of recovery, of the materials contained therein. The Owner shall submit a decommissioning plan upon execution of this Agreement and every three years thereafter on the anniversary date of this Agreement, which the Corporation shall subject to independent peer review.

G. Security for Decommissioning

In the event that the Owner fails to provide such further assurances or after the independent peer review the costs of decommissioning are deemed to exceed the net recycled values, the Owner shall post such security and in such amount as may be required by the Corporation to ensure that the costs of decommissioning be recoverable by the Corporation in the event that the costs of decommissioning are incurred by the Corporation.



H. Responsibility

In addition to any other provisions of this Agreement, this Section 23 shall inure to the benefit of and be binding upon the Parties hereto and their respective, heirs, executors, administrators, successors, assigns, secured parties, affiliates, related corporations, provisional liquidators, conservators, receivers, trustees, custodians or other similar officials.

I. Entry Upon the Lands

In the event that the Corporation deems it necessary to perform any decommissioning of the Lands, the Owner hereby grants to the Corporation, its employees, agents and contractors an irrevocable licence to enter upon the lands and to perform such acts as may be necessary in the opinion of the Corporation to perform any and all acts of decommissioning deemed necessary by the Corporation, without further notice to the Owner.

J. Completion of Decommissioning by the Owner

Upon decommissioning by the Owner, the Owner shall provide to the Corporation a final report and acknowledged Records of Site Condition. The Owner further acknowledges that it shall perform the decommissioning of the Lands to the strictest environmental standards then applying appropriate to the lands and their use and, if applicable, to the satisfaction of the Ministry of the Environment.

24. All driveways for emergency vehicles shall:

- (1) Be connected with a public thoroughfare;
- (2) Be designed and constructed to support expected loads imposed by firefighting equipment;
- (3) Have a clear width of 3 metres at all times;
- (4) Have an overhead clearance not less than 4.5 metres;
- (5) Have a change in gradient of not more than 1 in 12.5 over a minimum distance of 15.2 metres; and
- (6) Have approved signs displayed to indicate the emergency route.

25. If the Ontario Building Code requires that an architect or professional engineer or both shall be responsible for the field review of any new building or extension provided for in this Agreement, the Owner shall not occupy or use or permit to be occupied or used any said new building or extension until after an architect or professional engineer has given to the Corporation a letter addressed to the Corporation and signed by him certifying that all services on or in the said lands, required for this development or redevelopment, newly installed by the Owner in connection with this development or redevelopment and not contained within a building, have been installed and completed in a manner satisfactory to the architect or professional engineer.

26. The Corporation through its servants, officers and agents including its building inspector, plumbing inspector, fire chief, public works head and municipal engineer may from time to time and at any time enter on the premises of the Owner to inspect:

- (1) The progress of development;
- (2) The state of maintenance as provided for in this Agreement.

27. In the event of any servant, officer or agent of the Corporation determining upon inspection the development is not proceeding in strict accord with the plans and specifications filed, such servant, officer or agent shall forthwith place a notice requiring all work to be stopped upon the premises and forward a copy by registered mail to the Owner at his last address as shown by the revised assessment rolls, and the Owner shall forthwith correct the deficiency or deviation.

28. In the event of any servant, officer or agent of the Corporation upon inspection being of the opinion that the state of maintenance is not satisfactory, such servant, officer or agent shall forthwith forward notice of such opinion to the Owner by registered mail at his last address as shown from the revised assessment rolls, and the Owner shall forthwith correct the deficiency or appeal to Council of the Corporation as hereinafter provided.

29. In the event that an Owner should disagree with the opinion of the servant, officer or agent of the Corporation as to the state of maintenance, such Owner shall appear before Council of the Corporation, which after hearing the Owner, shall express its opinion as to whether the maintenance is satisfactory by resolution, which shall constitute a final determination of the matter.
30. In the event that an Owner should fail to obey a stop work order issued under Section 27 hereof, the Owner recognizes the right of the Corporation to apply to the Court for a restraining order.
31. In the event that an Owner should fail to correct a deviation or deficiency after notice pursuant to Section 28 or after notice of an opinion, which Council of the Corporation determines is correct under Section 29, the Council of the Corporation may by law direct or default of the matter or thing being done by the Owner, under this or any other Agreement between the Corporation and the Owner, after two (2) weeks notice to it by registered mail at the last shown address of the Owner pursuant to the revised assessment rolls of passage of such by-law, that such matter or thing be done by the Corporation at the expense of the Owner, which expense may be recovered by action or like manner as municipal taxes.
32. In the event of an Owner wishing to change at any time any of the buildings, structures or facilities described in the plans annexed or referred to in Section 3 hereof, it shall make application to Council of the Corporation for approval and shall not proceed with such change until approval is given by such Council, or in default by the Ontario Municipal Board, under the procedure set out in Section 41 of the Planning Act, R.S.O. 1990 herebefore referred to.
33. This Agreement and the provisions thereof do not give to the Owner or any person acquiring any interest in the said lands any rights against the Corporation with respect to the failure of the Owner to perform or fully perform any of its obligations under this Agreement or any negligence of the Owner in its performance of the said obligations.
34. In the event that no construction on the said lands has commenced within one (1) year from the date of registration of this Agreement, the Corporation may, at its option, on one month's notice to the Owner, declare this Agreement to be subject to re-negotiation, whereupon the Owner agrees that it will not undertake any construction on the said lands until this Agreement has been re-negotiated.
35. All facilities and matters required by this Agreement shall be provided and maintained by the Owner at its sole risk and expense to the satisfaction of the Corporation and in accordance with the standards determined by the Corporation and in default thereof and without limiting other remedies available to the Corporation, the provisions of Section 446 of the Municipal Act shall apply.

36. Agreement on Title

It is specifically acknowledged and agreed that the burden of this Agreement shall run with the Lands. In this Agreement, "Owner" shall include any Owner of the Lands from time to time.

37. General Responsibility

This Agreement, including all its covenants, provisos, conditions and schedules shall inure to the benefit of and be binding upon the Parties hereto and their respective heirs, executors, administrators, successors and assigns.

38. Financial Securities

A financial guarantee (certified cheque or irrevocable letter of credit - self renewing without burden of proof) for 50% of the value of on-site improvements exclusive of buildings and structures is required as part of the site plan agreement in addition to financial security in the amount of 100% for all off-site works required as part of this development. The Owner's engineer and landscape architect is to provide a certified estimate of the cost of the on-site and off-site work for consideration and approval by the Town's Public Work's Manager. Once the Town has inspected and approved the construction /installation/planting of the on-site and off-site works, the Owner will be required to provide security for a one year maintenance period in the amount of 15% of the cost of on-site and off-site improvements.


**IN WITNESS WHEREOF** the Owner executed this Agreement.

OWNER:  
1710690 ONTARIO INC.

  
\_\_\_\_\_  
President - Loris Collavino

THE CORPORATION OF THE  
TOWN OF AMHERSTBURG

  
\_\_\_\_\_  
Mayor - Wayne Hurst

  
\_\_\_\_\_  
CAO/Clerk - Pamela Malott

Authorized and approved by By-law  
No. 2008-79 enacted the 15<sup>th</sup> day of  
December, 2008.

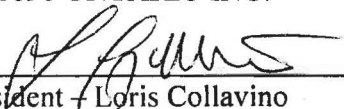
**SCHEDULE "A"**

The following is a description of the land to which this instrument applies:

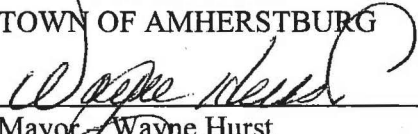
**FIRSTLY:** Part of northwest quarter of Lot 9, part of north half of Lot 10, ~~part of southwest quarter of Lot 11~~, Concession 2 (Township of Anderdon), also referred to as Parts 1, 2 and 4 (12R-12958) and Part 1 (12R-13638)

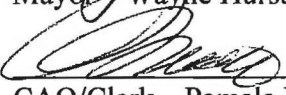
in the Town of Amherstburg,  
County of Essex  
Province of Ontario

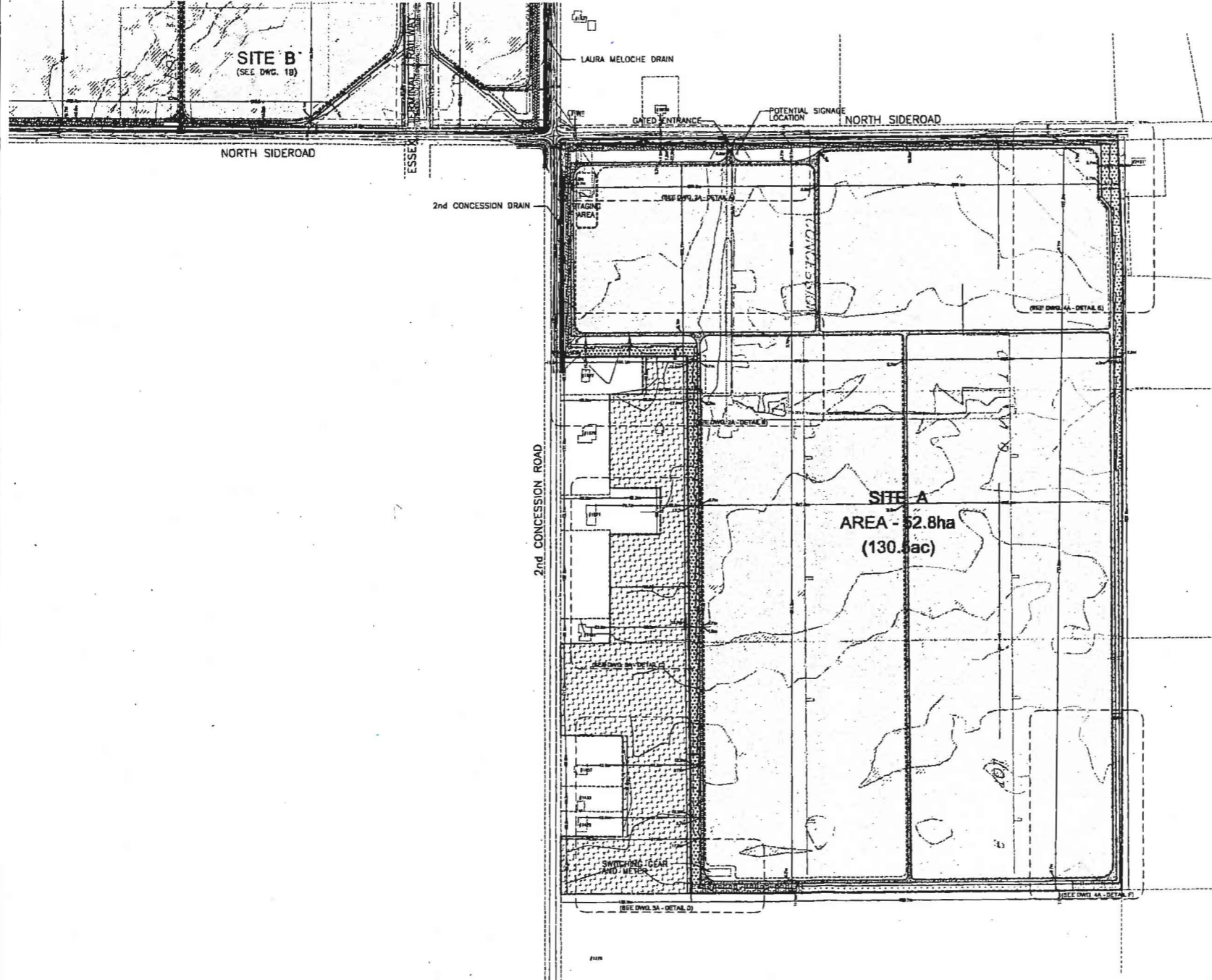
OWNER:  
1710690 ONTARIO INC.

  
\_\_\_\_\_  
President - Loris Collavino













THE CORPORATION OF THE  
TOWN OF AMHERSTBURG

  
\_\_\_\_\_  
Mayor - Wayne Hurst

  
\_\_\_\_\_  
CAO/Clerk - Pamela Malott



**LEGEND**

-  SITE BOUNDARY
-  PROPOSED TRACKER UNITS
-  PROPOSED LIVING FENCE BUFFER
-  PROPOSED TALL GRASS PRAIRIE WITH SHRUB BUFFER
-  PROPOSED TALL GRASS PRAIRIE BUFFER
-  PROPOSED ROADSIDE BUFFER
-  PROPOSED WETLAND BUFFER
-  AREA TO REMAIN UNDER AGRICULTURAL PRODUCTION OR APPROPRIATE GROUND COVER
-  PROPOSED 2.4m (8') FENCE
-  PROPOSED ACCESS ROAD
-  PROPOSED INVERTER
-  PROPOSED UNDERGROUND ELECTRICAL WIREWAY

NOTE: ALL AREAS NOT OCCUPIED BY TRACKER UNITS WILL CONTINUE TO BE FARMED.  
 NOTE: STAGING AREAS WILL BE REGRADED AND SEEDED.

SCHEDULE "B-1" TO BY-LAW 2008-79  
 1710690 ONTARIO INC.  
*[Signature]*  
 LORIS COLLAVINO  
 TOWN OF AMHERSTBURG  
*[Signature]*  
 MAYOR WAYNE HURST  
*[Signature]*  
 CAO/CLERK - PAMELA MALOTT

**SUNPOWER**  
 Smarter Solar  
**HELIOS ENERGY**

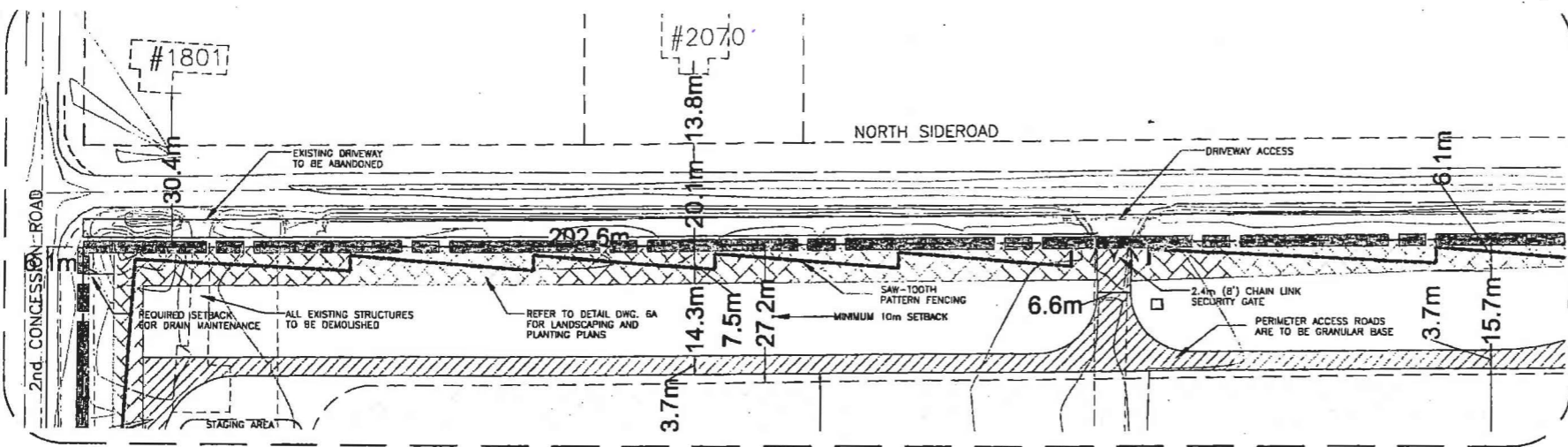
**DILLON CONSULTING**  
 3300 Dufferin Drive, Suite 605, Windsor, ON N9B 5K3  
 Phone: (519) 948-3000 Fax: (519) 948-3054

1	DATE	BY
2	DATE	BY
3	DATE	BY
4	DATE	BY
5	DATE	BY
6	DATE	BY
7	DATE	BY
8	DATE	BY
9	DATE	BY
10	DATE	BY

SURVEY	
DESIGN	
DRAWING	
PREPARED	
DATE	

SUNPOWER - HELIOS ENERGY  
**SITE PLAN CONTROL**  
**SITE A - GENERAL PLAN**

PROJECT NO.  
08-8815-1000  
 SHEET NO.  
**1A**

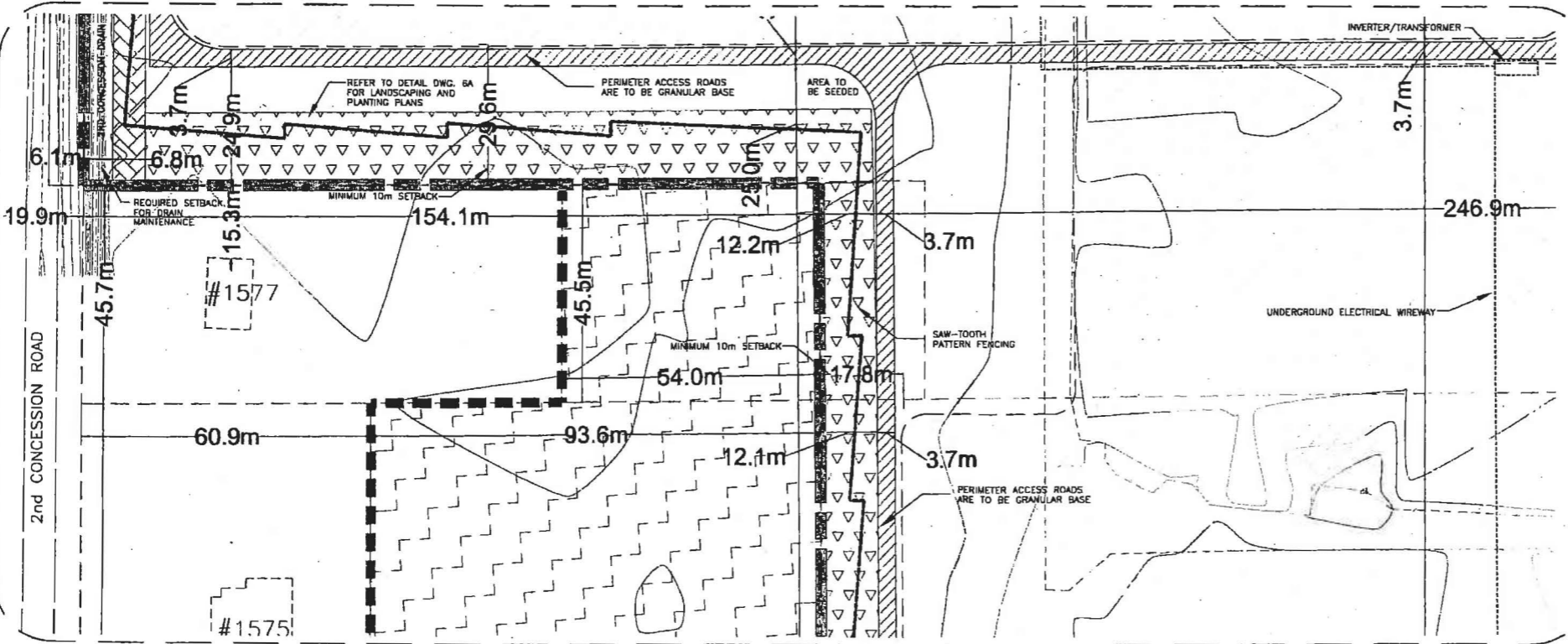


DETAIL A

**LEGEND**

- [Symbol] SITE BOUNDARY
- [Symbol] PROPOSED TRACKER UNITS
- [Symbol] PROPOSED LIVING FENCE BUFFER
- [Symbol] PROPOSED TALL GRASS PRAIRIE WITH SHRUB BUFFER
- [Symbol] PROPOSED TALL GRASS PRAIRIE BUFFER
- [Symbol] PROPOSED ROADSIDE BUFFER
- [Symbol] PROPOSED WETLAND BUFFER
- [Symbol] AREA TO REMAIN UNDER AGRICULTURAL PRODUCTION OR APPROPRIATE GROUND COVER
- [Symbol] PROPOSED 2.4m (8') FENCE
- [Symbol] PROPOSED ACCESS ROAD
- [Symbol] PROPOSED INVERTER
- [Symbol] PROPOSED UNDERGROUND ELECTRICAL WIREWAY

NOTE: ALL AREAS NOT OCCUPIED BY TRACKER UNITS WILL CONTINUE TO BE FARMED.  
 NOTE: STAGING AREAS WILL BE REGRADED AND SEED.



DETAIL B

SCHEDULE "B-2" TO BY-LAW 2008-79  
 1710690 ONTARIO INC.  
*[Signature]*  
 JORIS COLLAVINO  
 TOWN OF AMHERSTBURG  
*[Signature]*  
 MAYOR WAYNE HURST  
*[Signature]*  
 CAO/CLERK- PAMELA MALOTT

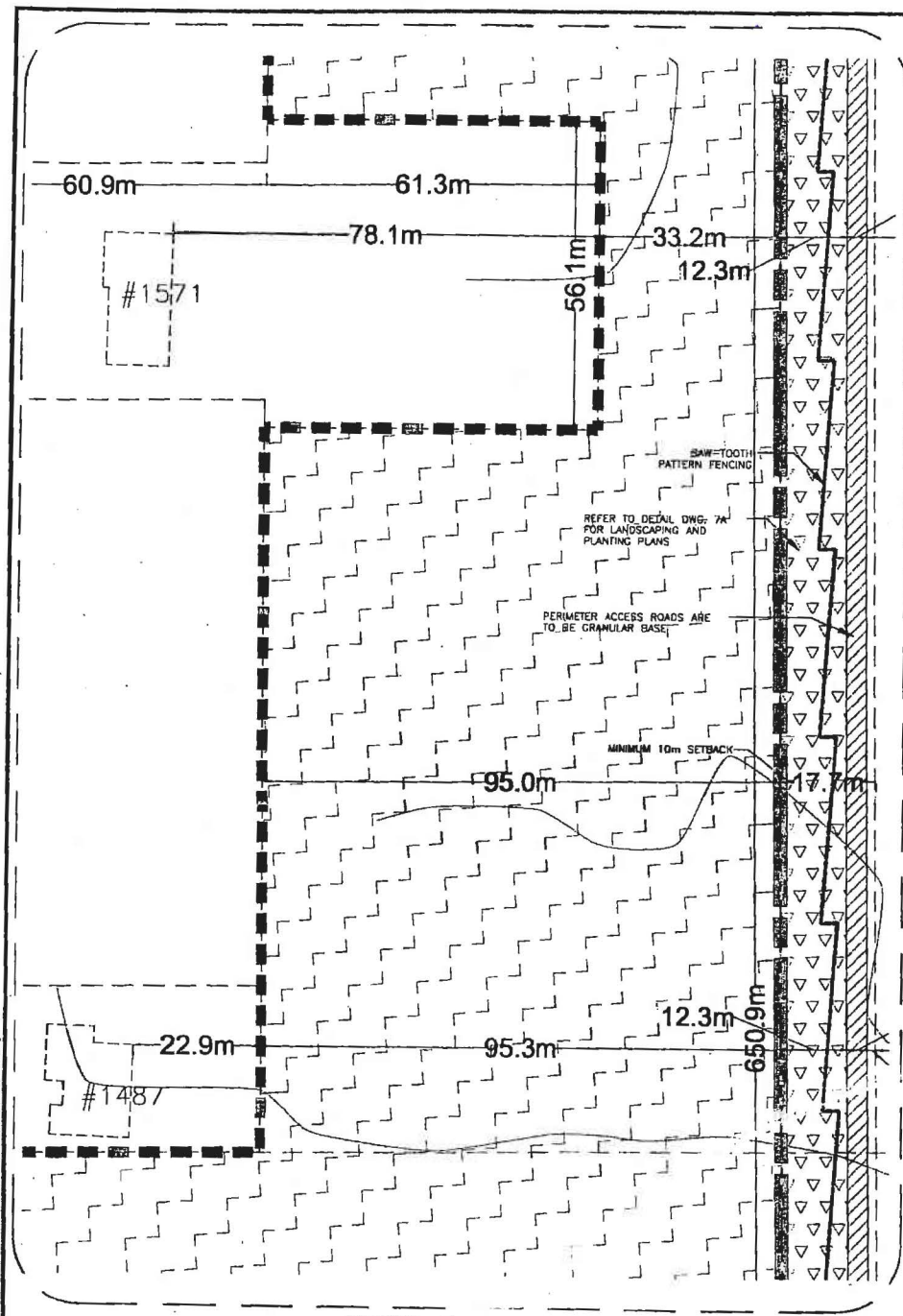
**SUNPOWER**  
 Smarter Solar  
**HELIOS ENERGY**

**DILLON CONSULTING**  
 1300 Dufferin Drive, Suite 808, Mississauga, ON L4W 5G6  
 Phone: (905) 848-5000 Fax: (905) 848-5254

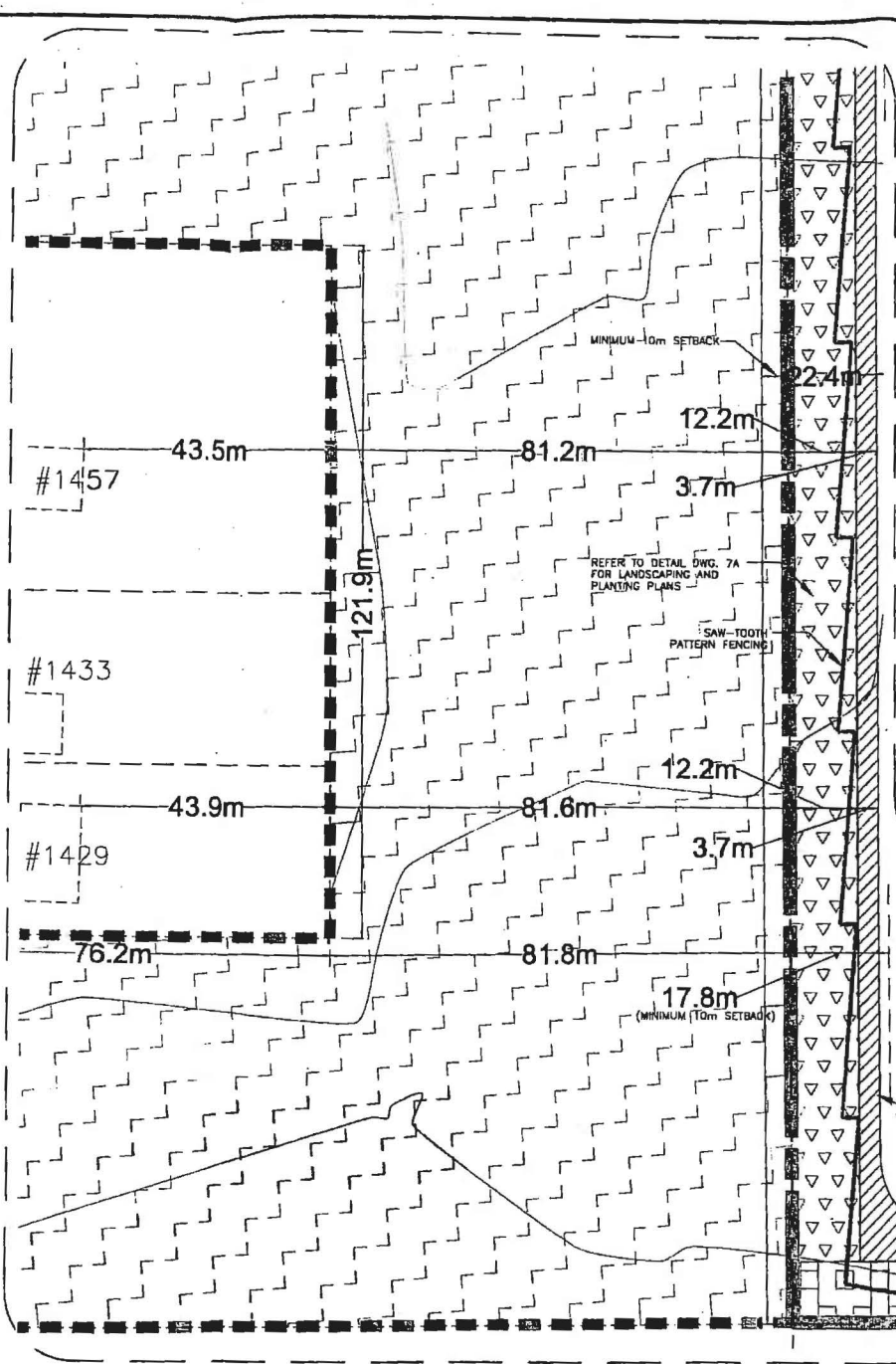
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1	ISSUED FOR PERMIT	DATE	BY
2	REVISED AS PER TOWN'S COMMENTS	DECEMBER 2008	WAL
3	REVISED AS PER CLIENT'S REQUEST	NOVEMBER 2008	WAL
4	FOR MUNICIPAL REVIEW	OCTOBER 22, 2008	WAL/NET

SUNPOWER - HELIOS ENERGY  
**SITE PLAN CONTROL**  
 SITE A - DETAIL AREA 1

PROJECT NO. 08-9915-1000  
 SHEET NO. **2A**



DETAIL C



DETAIL D

- LEGEND**
- SITE BOUNDARY
  - PROPOSED TRACKER UNITS
  - PROPOSED LIVING FENCE BUFFER
  - PROPOSED TALL GRASS PRAIRIE WITH SHRUB BUFFER
  - PROPOSED TALL GRASS PRAIRIE BUFFER
  - PROPOSED ROADSIDE BUFFER
  - PROPOSED WETLAND BUFFER
  - AREA TO REMAIN UNDER AGRICULTURAL PRODUCTION OR APPROPRIATE GROUND COVER
  - PROPOSED 2.4m (8') FENCE
  - PROPOSED ACCESS ROAD
  - PROPOSED INVERTER
  - PROPOSED UNDERGROUND ELECTRICAL WIREWAY

NOTE: ALL AREAS NOT OCCUPIED BY TRACKER UNITS WILL CONTINUE TO BE FARMED.  
 NOTE: STAGING AREAS WILL BE REGRADED AND SEEDED.

SCHEDULE "B-3" TO BY-LAW 2008-79

1710690 ONTARIO INC.

*Loris Colliavino*  
 LORIS COLLIAVINO

TOWN OF AMHERSTBURG

*Wayne Hurst*  
 MAYOR WAYNE HURST

*Pamela Malott*  
 CAO/CLERK - PAMELA MALOTT

PERIMETER ACCESS ROADS ARE TO BE GRANULAR BASE

SWITCHING GEAR AND METER (SEE DETAIL DWG. 10)

**SUNPOWER**  
 Smarter Solar  
**HELIOS ENERGY**  
 79 Richmond St. Amherstburg, ON N3Y 2A5

**DILLON CONSULTING**  
 3200 Lakeshore Drive, Suite 408, Windsor, ON N9W 5K5  
 Phone: (519) 248-5000 Fax: (519) 248-5054

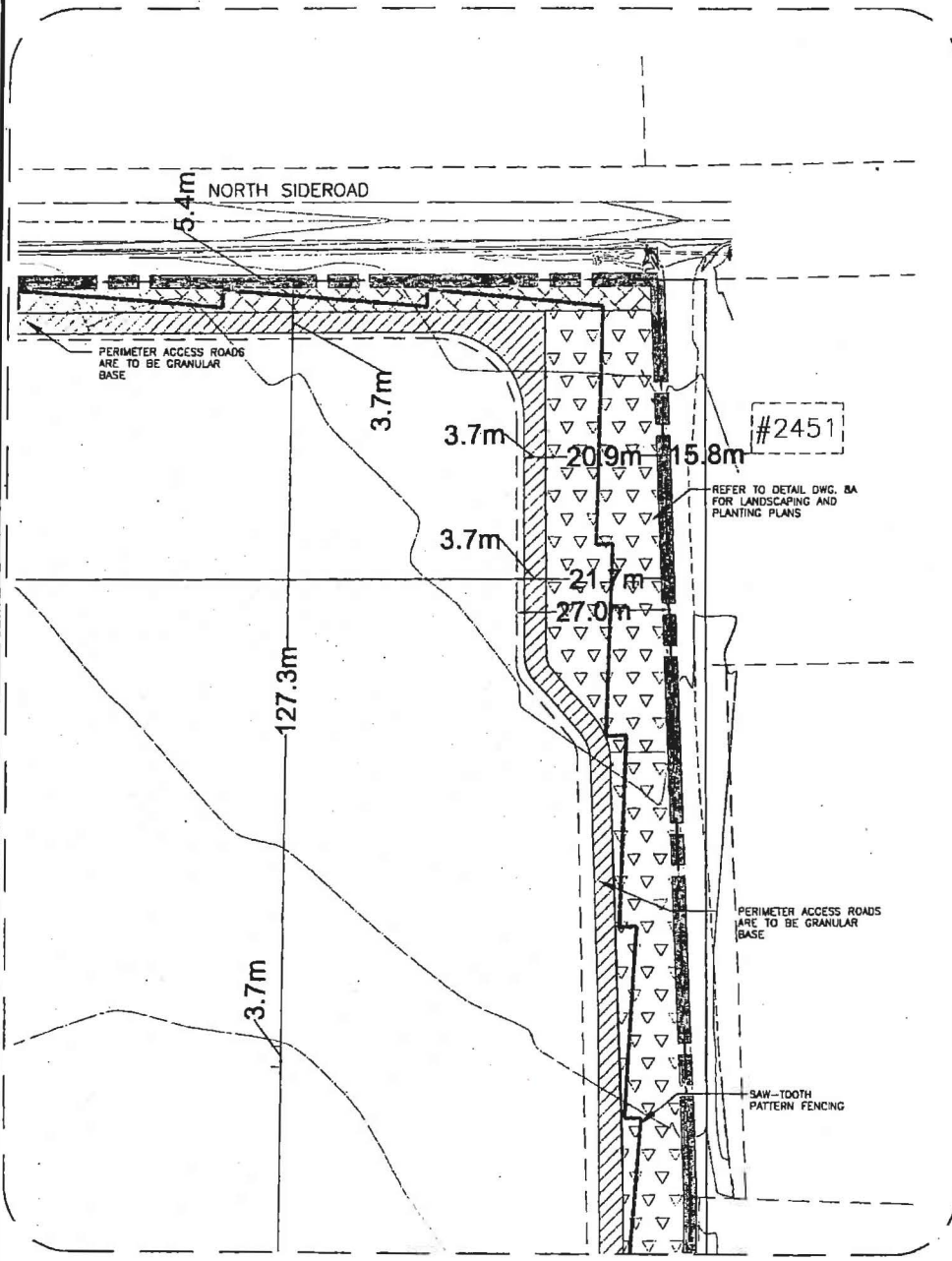
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3			DRAFTING
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6	DECEMBER 2/08	HAL	
7	NOVEMBER 2/08	HAL	
8	REVISED AS PER CLIENT'S REQUEST		
9	DECEMBER 22/08	AMALOTT	
10	REVISED FOR MUNICIPAL REVIEW		
11	DECEMBER 22/08	AMALOTT	
12	REVISED FOR		
13	DATE	BY	

SUNPOWER - HELIOS ENERGY

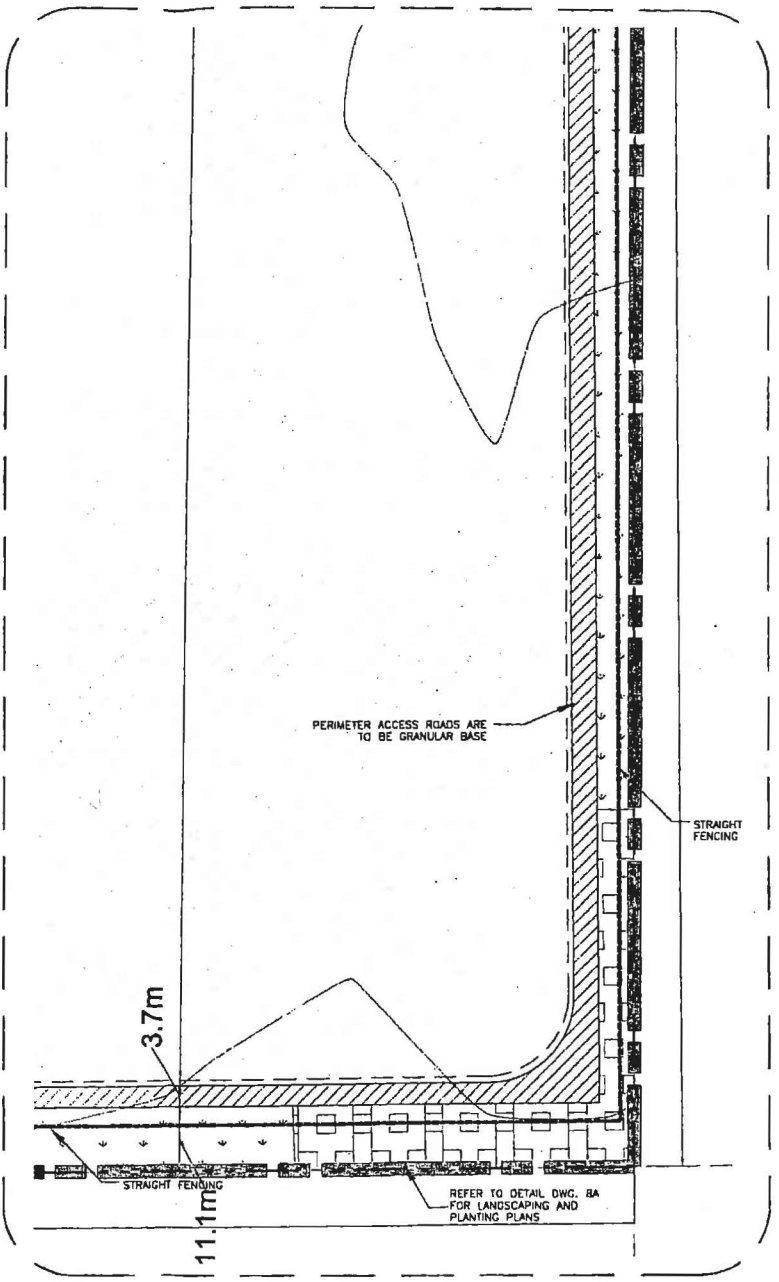
SITE PLAN CONTROL  
SITE A - DETAIL AREA 2

PROJECT NO.  
08-0915-1000

SHEET NO.  
**3A**



DETAIL E



DETAIL F

**LEGEND**

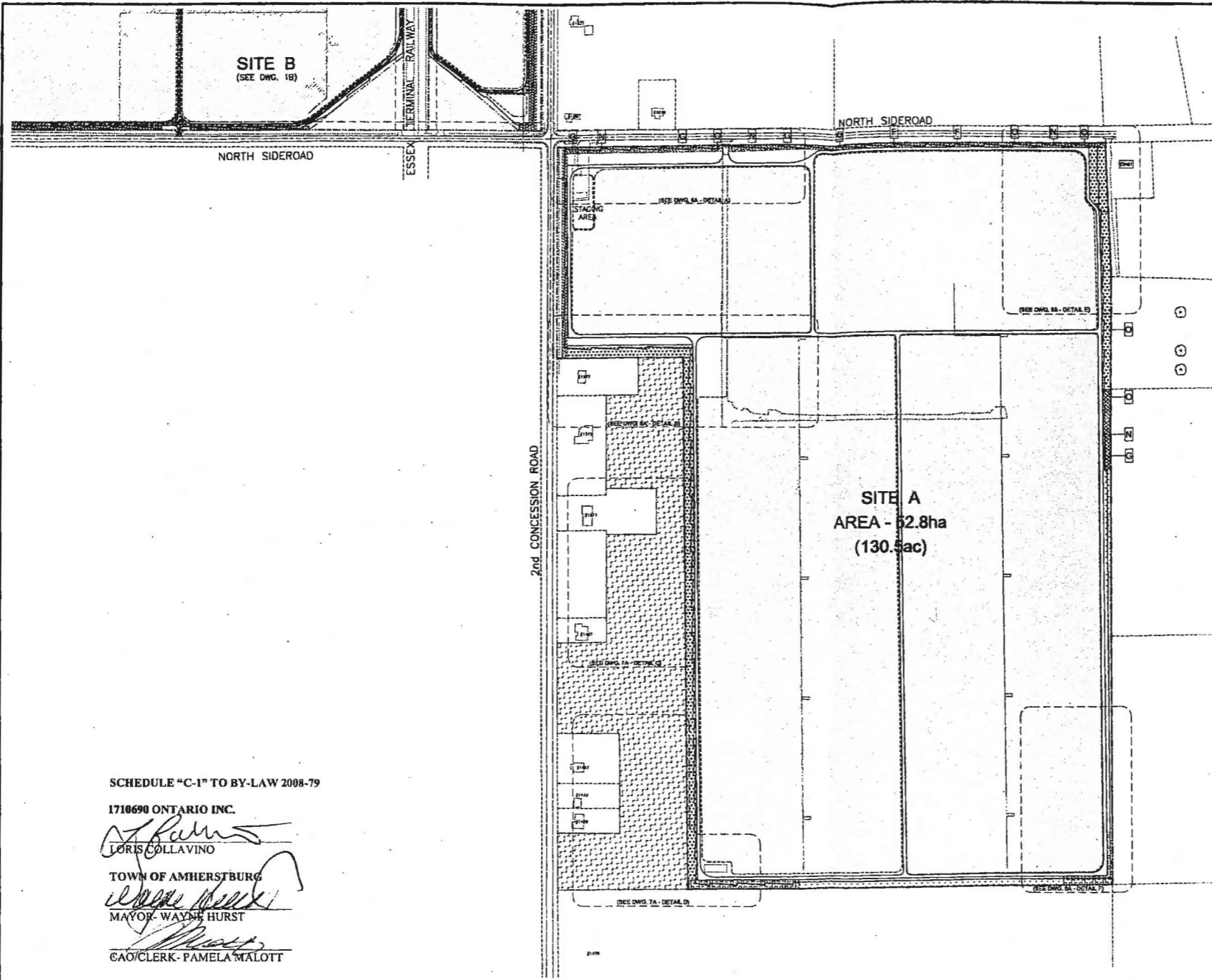
- SITE BOUNDARY
- PROPOSED TRACKER UNITS
- PROPOSED LIVING FENCE BUFFER
- PROPOSED TALL GRASS PRAIRIE WITH SHRUB BUFFER
- PROPOSED TALL GRASS PRAIRIE BUFFER
- PROPOSED ROADSIDE BUFFER
- PROPOSED WETLAND BUFFER
- AREA TO REMAIN UNDER AGRICULTURAL PRODUCTION OR APPROPRIATE GROUND COVER
- PROPOSED 2.4m (8') FENCE
- PROPOSED ACCESS ROAD
- PROPOSED INVERTER
- PROPOSED UNDERGROUND ELECTRICAL WIREWAY

NOTE: ALL AREAS NOT OCCUPIED BY TRACKER UNITS WILL CONTINUE TO BE FARMED.  
 NOTE: STAGING AREAS WILL BE REGRADED AND SEEDDED.

SCHEDULE "B-4" TO BY-LAW 2008-79  
 1710690 ONTARIO INC.  
*Loris Collavino*  
 LORIS COLLAVINO  
 TOWN OF AMHERSTBURG  
*Wayne Hurst*  
 MAYOR WAYNE HURST  
*Pamela Malott*  
 CAO/CLERK- PAMELA MALOTT

 <b>HELIOS ENERGY</b> <small>78 Richmond St. Amherstburg, ON N0V 2A5</small>	 <b>DILLON CONSULTING</b> <small>3250 Gair Drive, Suite 408, Windsor, ON N9W 5K6        Phone: (519) 948-5000 Fax: (519) 948-5054</small>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>1</td><td>DESIGN</td><td></td><td></td><td></td><td></td></tr> <tr><td>2</td><td>DESIGN</td><td></td><td></td><td></td><td></td></tr> <tr><td>3</td><td>DESIGN</td><td></td><td></td><td></td><td></td></tr> <tr><td>4</td><td>DESIGN</td><td></td><td></td><td></td><td></td></tr> <tr><td>5</td><td>DESIGN</td><td></td><td></td><td></td><td></td></tr> <tr><td>6</td><td>DESIGN</td><td></td><td></td><td></td><td></td></tr> <tr><td>7</td><td>REVISION AS PER TOWN'S COMMENTS</td><td>SEPTEMBER 2, 2016</td><td>HAL</td><td></td><td></td></tr> <tr><td>8</td><td>REVISION AS PER CLIENT'S REQUEST</td><td>NOVEMBER 3, 2016</td><td>HAL</td><td></td><td></td></tr> <tr><td>9</td><td>FOR MUNICIPAL REVIEW</td><td>DECEMBER 23, 2016</td><td>AMH/HST</td><td></td><td></td></tr> <tr><td>10</td><td>PREPARED FOR</td><td>DATE</td><td>BY</td><td></td><td></td></tr> </table>	1	DESIGN					2	DESIGN					3	DESIGN					4	DESIGN					5	DESIGN					6	DESIGN					7	REVISION AS PER TOWN'S COMMENTS	SEPTEMBER 2, 2016	HAL			8	REVISION AS PER CLIENT'S REQUEST	NOVEMBER 3, 2016	HAL			9	FOR MUNICIPAL REVIEW	DECEMBER 23, 2016	AMH/HST			10	PREPARED FOR	DATE	BY			<b>SUNPOWER - HELIOS ENERGY</b>  <b>SITE PLAN CONTROL</b> <b>SITE A - DETAIL AREA 3</b>	<small>PROJECT NO.</small> 08-9915-1000  <small>SHEET NO.</small> <b>4A</b>
1	DESIGN																																																															
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9	FOR MUNICIPAL REVIEW	DECEMBER 23, 2016	AMH/HST																																																													
10	PREPARED FOR	DATE	BY																																																													





**LEGEND**

- SITE BOUNDARY**
- MANAGED MEADOW**  
(REFER TO MANAGED MEADOW SEED MIXTURE AND SPECIFICATIONS ON PLANTING SPECIFICATIONS DWG. 5D)
- PROPOSED TALL GRASS PRAIRIE BUFFER**  
(REFER TO TALL GRASS SEED MIXTURE AND SPECIFICATIONS ON PLANTING SPECIFICATIONS DWG. 5D)
- PROPOSED TALL GRASS PRAIRIE WITH SHRUB BUFFER**  
(THE TALL GRASS PRAIRIE WITH SHRUB BUFFER IS INTENDED TO BE USED IN AREAS WITHOUT AN EXISTING ABUNDANCE OF VEGETATION DIVERSITY. THESE BUFFERS WILL PROVIDE AN INCREASE IN VEGETATION AND HABITAT DIVERSITY. THEY WILL ALSO CREATE OPPORTUNITIES FOR WILDLIFE LINKAGES.  
SHRUB PLANTING CELL DENSITY = 10% LINEAR COVERAGE  
VINE PLANTING DENSITY = 1 VINE PER 60.0m (TYPICAL)
- PROPOSED LIVING FENCE BUFFER**  
(THE LIVING FENCE BUFFER IS TO BE USED IN AREAS OF CLOSE PROXIMITY TO RESIDENTIAL HOMES. CURRENTLY, THERE EXISTS ONLY AGRICULTURAL CROPS IN THE FIELDS ADJACENT TO THE HOMEOWNERS' PROPERTY. THE LIVING FENCE BUFFER WILL PROVIDE AN INCREASED LEVEL OF VEGETATION AND WILDLIFE HABITAT DIVERSITY. THESE AREAS WILL ALSO PROVIDE AN ENHANCED VIEWSHED FOR THE NEIGHBOURING HOMEOWNERS THROUGH THE CONSENSUS LOCATION OF CALIPER TREES, SHRUB/WHIP PLANTING CELLS AND VINES.  
CALIPER TREE PLANTING DENSITY = 1 TREE PER 23.8 LINEAR METRES  
SHRUB/WHIP PLANTING CELL DENSITY = 30% LINEAR COVERAGE  
VINE PLANTING DENSITY = 1 VINE PER 30.0m (TYPICAL)
- PROPOSED ROADSIDE BUFFER**  
(THE ROADSIDE BUFFER IS TO BE USED IN AREAS OF CLOSE PROXIMITY TO LOCAL PERIMETER ROADS. THESE AREAS ARE TYPICALLY ADJACENT TO ROADSIDE DITCHES WITHOUT AN EXISTING ABUNDANCE OR DIVERSITY OF VEGETATION. THE ROADSIDE BUFFER WILL EMPLOY A TALL GRASS PRAIRIE SEED MIXTURE INTEGRATED WITH SHRUB PLANTING CELLS. THE SHRUB PLANTING CELLS WILL INCREASE HABITAT DIVERSITY FOR WILDLIFE AND PROVIDE AN ENHANCED VISUAL TEXTURE TO PASSING MOTORISTS.  
SHRUB PLANTING CELL DENSITY = 15% LINEAR COVERAGE (TYPICAL)  
VINE PLANTING DENSITY = 1 VINE PER 30.0m (TYPICAL)
- PROPOSED WETLAND BUFFER**  
(REFER TO NATIVE WETLAND SEED MIXTURE AND SPECIFICATIONS ON PLANTING SPECIFICATIONS DWG. 5D)
- AREA TO REMAIN UNDER AGRICULTURAL PRODUCTION OR APPROPRIATE GROUND COVER**
- PROPOSED 2.4m (8') FENCE**
- PROPOSED PLANTING CELL/PLANT CELL TYPE**  
(REFER TO LANDSCAPE DETAILS - SHEET 5D)
- PROPOSED CALIPER TREE**
- PROPOSED VINES**
- PROPOSED INVERTER**
- PROPOSED UNDERGROUND ELECTRICAL WIREWAY**

NOTE: ALL AREAS NOT OCCUPIED BY TRACKER UNITS WILL CONTINUE TO BE FARMED.  
NOTE: STAGING AREAS WILL BE REGRADED AND SEEDDED.

SCHEDULE "C-1" TO BY-LAW 2008-79

1710690 ONTARIO INC.

*Loris Collavino*  
LORIS COLLAVINO

TOWN OF AMHERSTBURG

*Wayne Hurst*  
MAYOR WAYNE HURST

*Pamela Malott*  
CAO/CLERK - PAMELA MALOTT

**SUNPOWER**  
Smarter Solar  
**HELIOS ENERGY**

18 Richmond St. Amherstburg, ON N8V 2A5

**DILLON**  
CONSULTING

12700 Deerpark Drive, Suite 408, Mississauga, ON L4W 5A7  
Phone: (905) 848-2000 Fax: (905) 848-3024

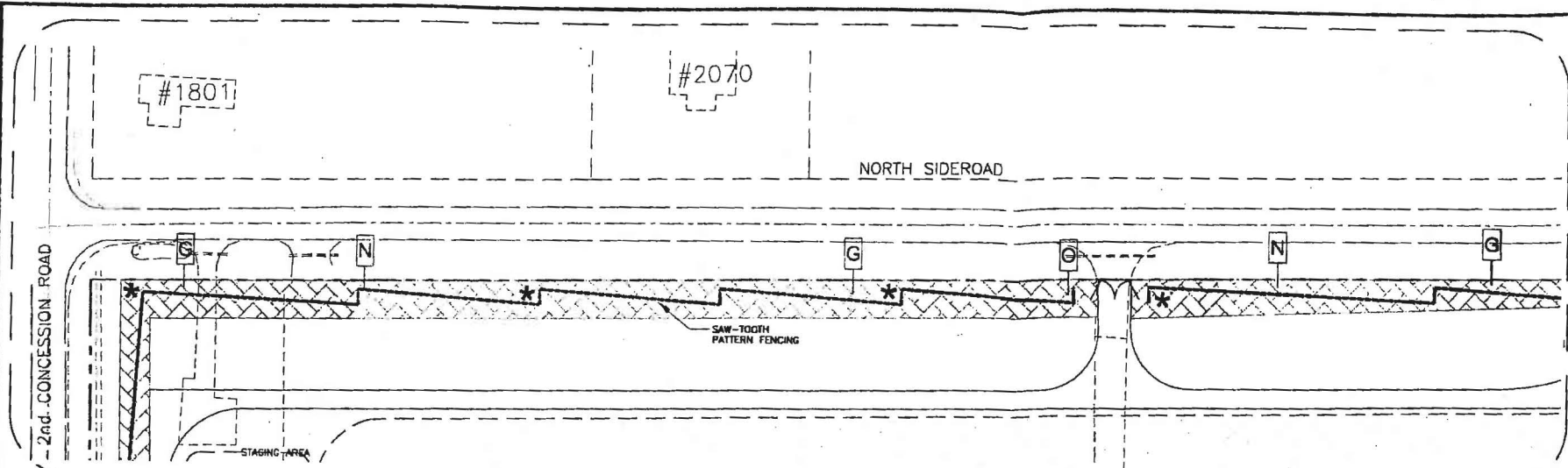
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SUNPOWER - HELIOS ENERGY

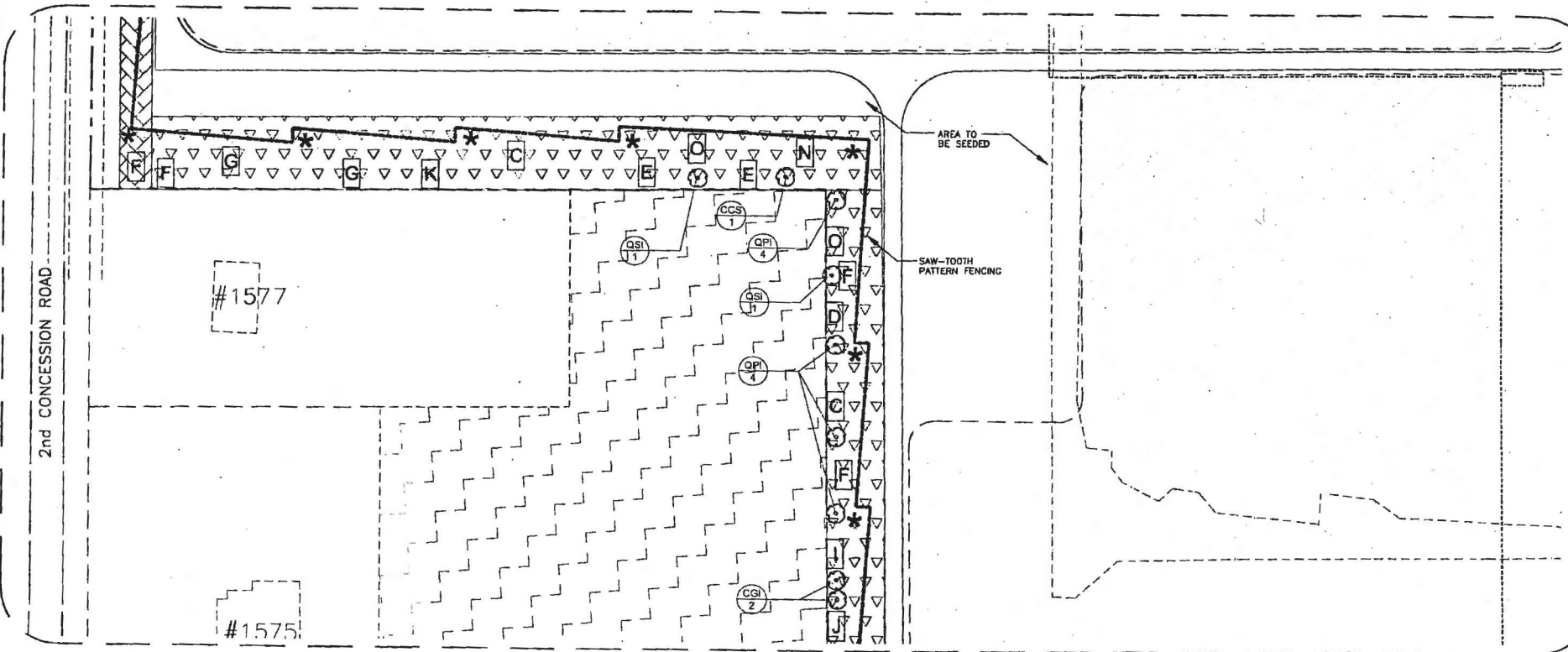
PROJECT NO. 08-0915-1000

SITE PLAN CONTROL  
SITE A - GENERAL LANDSCAPE PLAN

SHEET NO. 5A



DETAIL A



DETAIL B

- LEGEND**
- SITE BOUNDARY
  - MANAGED MEADOW (REFER TO MANAGED MEADOW SEED MIXTURE AND SPECIFICATIONS ON PLANTING SPECIFICATIONS DWG. 50)
  - PROPOSED TALL GRASS PRAIRIE BUFFER (REFER TO TALL GRASS SEED MIXTURE AND SPECIFICATIONS ON PLANTING SPECIFICATIONS DWG. 50)
  - PROPOSED TALL GRASS PRAIRIE WITH SHRUB BUFFER (THE TALL GRASS PRAIRIE WITH SHRUB BUFFER IS INTENDED TO BE USED IN AREAS WITHOUT AN EXISTING ABUNDANCE OF VEGETATION DIVERSITY. THESE BUFFERS WILL PROVIDE AN INCREASE IN VEGETATION AND HABITAT DIVERSITY. THEY WILL ALSO CREATE OPPORTUNITIES FOR WILDLIFE LARVAE. SHRUB PLANTING CELL DENSITY = 10% LINEAR COVERAGE VINE PLANTING DENSITY = 1 VINE PER 30M (TYPICAL))
  - PROPOSED LIVING FENCE BUFFER (THE LIVING FENCE BUFFER IS TO BE USED IN AREAS OF CLOSE PROXIMITY TO RESIDENTIAL HOMES. CURRENTLY, THESE EXLOTS ONLY AGRICULTURAL CROPS IN THE FIELDS ADJACENT TO THE HOMEOWNER'S PROPERTY. THE LIVING FENCE BUFFER WILL PROVIDE AN INCREASED LEVEL OF VEGETATION AND WILDLIFE HABITAT DIVERSITY. THESE AREAS WILL ALSO PROVIDE AN ENHANCED VISUAL TEXTURE FOR THE HOUSING DEVELOPERS THROUGH THE CONSENSUS LOCATION OF CALIPER TREES, SHRUBS AND VINES. CALIPER TREE PLANTING CELL DENSITY = 1 TREE PER 30M LINEAR METRES SHRUBS AND VINE PLANTING CELL DENSITY = 30% LINEAR COVERAGE VINE PLANTING DENSITY = 1 VINE PER 30M (TYPICAL))
  - PROPOSED ROADSIDE BUFFER (THE ROADSIDE BUFFER IS TO BE USED IN AREAS OF CLOSE PROXIMITY TO LOCAL PENETRATOR ROADS. THESE AREAS ARE TYPICALLY ADJACENT TO ROADSIDE DITCHES WITHOUT AN EXISTING ABUNDANCE ON DIVERSITY OF VEGETATION. THE ROADSIDE BUFFER WILL EMPLOY A TALL GRASS PRAIRIE SEED MIXTURE INTEGRATED WITH SHRUB PLANTING CELLS. THE SHRUB PLANTING CELLS WILL INCREASE HABITAT DIVERSITY FOR WILDLIFE AND PROVIDE AN ENHANCED VISUAL TEXTURE TO PASSING MOTORISTS. SHRUB PLANTING CELL DENSITY = 10% LINEAR COVERAGE (TYPICAL) VINE PLANTING DENSITY = 1 VINE PER 30M (TYPICAL))
  - PROPOSED WETLAND BUFFER (REFER TO NATIVE WETLAND SEED MIXTURE AND SPECIFICATIONS ON PLANTING SPECIFICATIONS DWG. 50)
  - AREA TO REMAIN UNDER AGRICULTURAL PRODUCTION OR APPROPRIATE GROUND COVER
  - PROPOSED 2.4m (8') FENCE
  - PROPOSED PLANTING CELL/PLANT CELL TYPE (REFER TO LANDSCAPE DETAILS - SHEET 50)
  - PROPOSED CALIPER TREE
  - PROPOSED VINES
  - PROPOSED INVERTER
  - PROPOSED UNDERGROUND ELECTRICAL WIREWAY

NOTE: ALL AREAS NOT OCCUPIED BY TRACKER UNITS WILL CONTINUE TO BE FARMED.  
 NOTE: STAGING AREAS WILL BE REGRADED AND SEEDDED.

SCHEDULE "C-2" TO BY-LAW 2008-79

1710690 ONTARIO INC.

*Loris Collavino*  
 LORIS COLLAVINO

TOWN OF AMHERSTBURG

*Wayne Hurst*  
 MAYOR WAYNE HURST

*Pamela Malott*  
 CAO/CLERK - PAMELA MALOTT

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**SUNPOWER**  
 Smarter Solar  
**HELIOS ENERGY**  
 79 Richmond St. Amherstburg, ON N0B 2A5

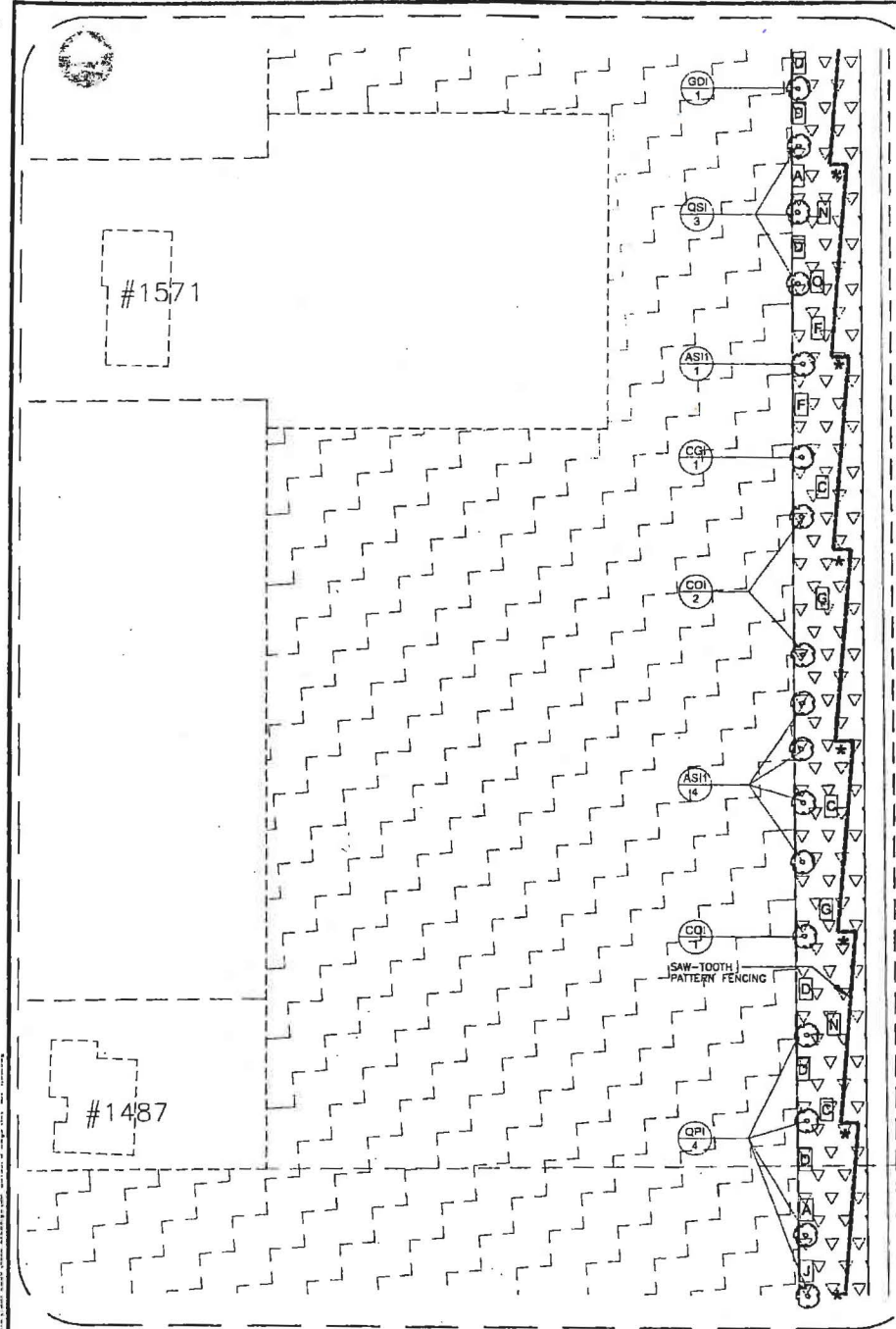
**DILLON CONSULTING**  
 1200 Deerpark Drive, Suite 408, Windsor, ON N9W 5K6  
 Phone: (519) 948-5000 Fax: (519) 948-5054

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4	OPERATION				
5	DECOMMISSIONING				
6	REVISIONS				
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8	REVISED AS PER CLIENT'S REQUEST	NOVEMBER 1, 2010	WAL		
9	FOR MUNICIPAL REVIEW	DECEMBER 23, 2010	JAN/MDT		
10	ISSUED FOR	DATE	BY		

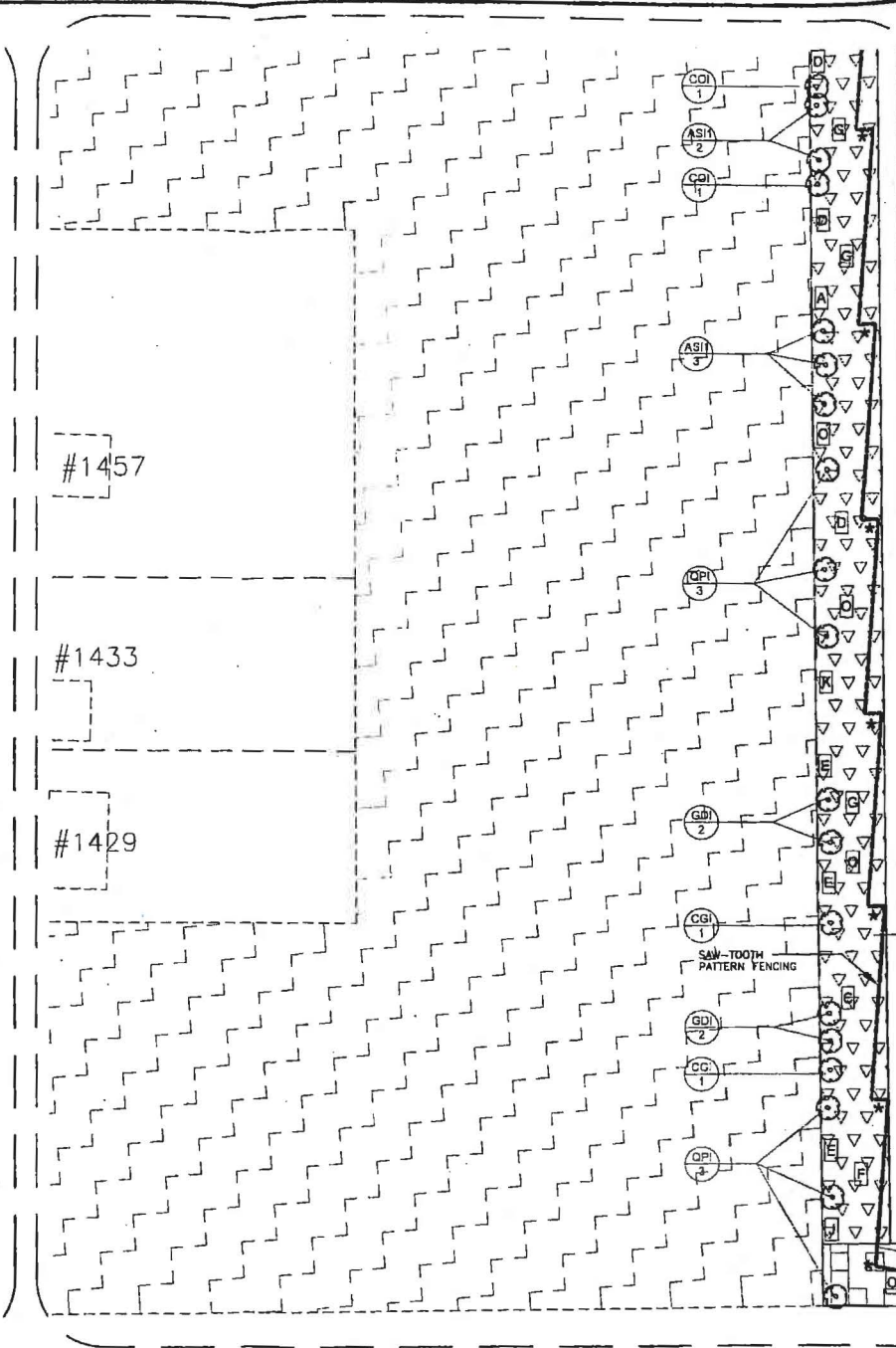
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SUNPOWER - HELIOS ENERGY  
 SITE PLAN CONTROL  
 SITE A - LANDSCAPE DETAIL AREA 1

PROJECT NO.  
 08-9915-1000  
 SHEET NO.  
**6A**



DETAIL C



DETAIL D

- LEGEND**
- SITE BOUNDARY
  - MANAGED MEADOW (REFER TO MANAGED MEADOW SEED MIXTURE AND SPECIFICATIONS ON PLANTING SPECIFICATIONS DWG. 50)
  - PROPOSED TALL GRASS PRAIRIE BUFFER (REFER TO TALL GRASS SEED MIXTURE AND SPECIFICATIONS ON PLANTING SPECIFICATIONS DWG. 50)
  - PROPOSED TALL GRASS PRAIRIE WITH SHRUB BUFFER (THE TALL GRASS PRAIRIE WITH SHRUB BUFFER IS INTENDED TO BE USED IN AREAS WITHOUT AN EXISTING ABUNDANCE OF VEGETATION DIVERSITY. THESE BUFFERS WILL PROVIDE AN INCREASE IN VEGETATION AND HABITAT DIVERSITY. THEY WILL ALSO CREATE OPPORTUNITIES FOR WILDLIFE LINKAGES. SHRUB PLANTING CELL DENSITY = 10% LINEAR COVERAGE VINE PLANTING DENSITY = 1 VINE PER 60.0m (TYPICAL))
  - PROPOSED LIVING FENCE BUFFER (THE LIVING FENCE BUFFER IS TO BE USED IN AREAS OF CLOSE PROXIMITY TO RESIDENTIAL HOMES. CURRENTLY, THERE EXISTS ONLY AGRICULTURAL CROPS IN THE FIELDS ADJACENT TO THE HOMEOWNER'S PROPERTY. THE LIVING FENCE BUFFER WILL PROVIDE AN INCREASED LEVEL OF VEGETATION AND WILDLIFE HABITAT DIVERSITY. THESE AREAS WILL ALSO PROVIDE AN ENHANCED VIEWSHED FOR THE NEIGHBOURING HOMEOWNERS THROUGH THE CONSENSUS LOCATION OF CALIPER TREES, SHRUBS AND VINES. CALIPER TREE PLANTING DENSITY = 1 TREE PER 20.0 LINEAR METRES SHRUB/VINE PLANTING CELL DENSITY = 30% LINEAR COVERAGE VINE PLANTING DENSITY = 1 VINE PER 30.0m (TYPICAL))
  - PROPOSED ROADSIDE BUFFER (THE ROADSIDE BUFFER IS TO BE USED IN AREAS OF CLOSE PROXIMITY TO LOCAL PERIMETER ROADS. THESE AREAS ARE TYPICALLY ADJACENT TO ROADSIDE DITCHES WITHOUT AN EXISTING ABUNDANCE OR DIVERSITY OF VEGETATION. THE ROADSIDE BUFFER WILL EMPLOY A TALL GRASS PRAIRIE SEED MIXTURE INTEGRATED WITH SHRUB PLANTING CELLS. THE SHRUB PLANTING CELLS WILL INCREASE HABITAT DIVERSITY FOR WILDLIFE AND PROVIDE AN ENHANCED VISUAL TEXTURE TO PASSING MOTORISTS. SHRUB PLANTING CELL DENSITY = 15% LINEAR COVERAGE (TYPICAL) VINE PLANTING DENSITY = 1 VINE PER 30.0m (TYPICAL))
  - PROPOSED WETLAND BUFFER (REFER TO NATIVE WETLAND SEED MIXTURE AND SPECIFICATIONS ON PLANTING SPECIFICATIONS DWG. 50)
  - AREA TO REMAIN UNDER AGRICULTURAL PRODUCTION OR APPROPRIATE GROUND COVER
  - PROPOSED 2.4m (8') FENCE
  - PROPOSED PLANTING CELL/PLANT CELL TYPE (REFER TO LANDSCAPE DETAILS - SHEET 50)
  - PROPOSED CALIPER TREE
  - PROPOSED VINES
  - PROPOSED INVERTER
  - PROPOSED UNDERGROUND ELECTRICAL WIREWAY

NOTE: ALL AREAS NOT OCCUPIED BY TRACKER UNITS WILL CONTINUE TO BE FARMED.  
 NOTE: STAGING AREAS WILL BE REGRADED AND SEEDED.  
 SCHEDULE "C-3" TO BY-LAW 2008-79

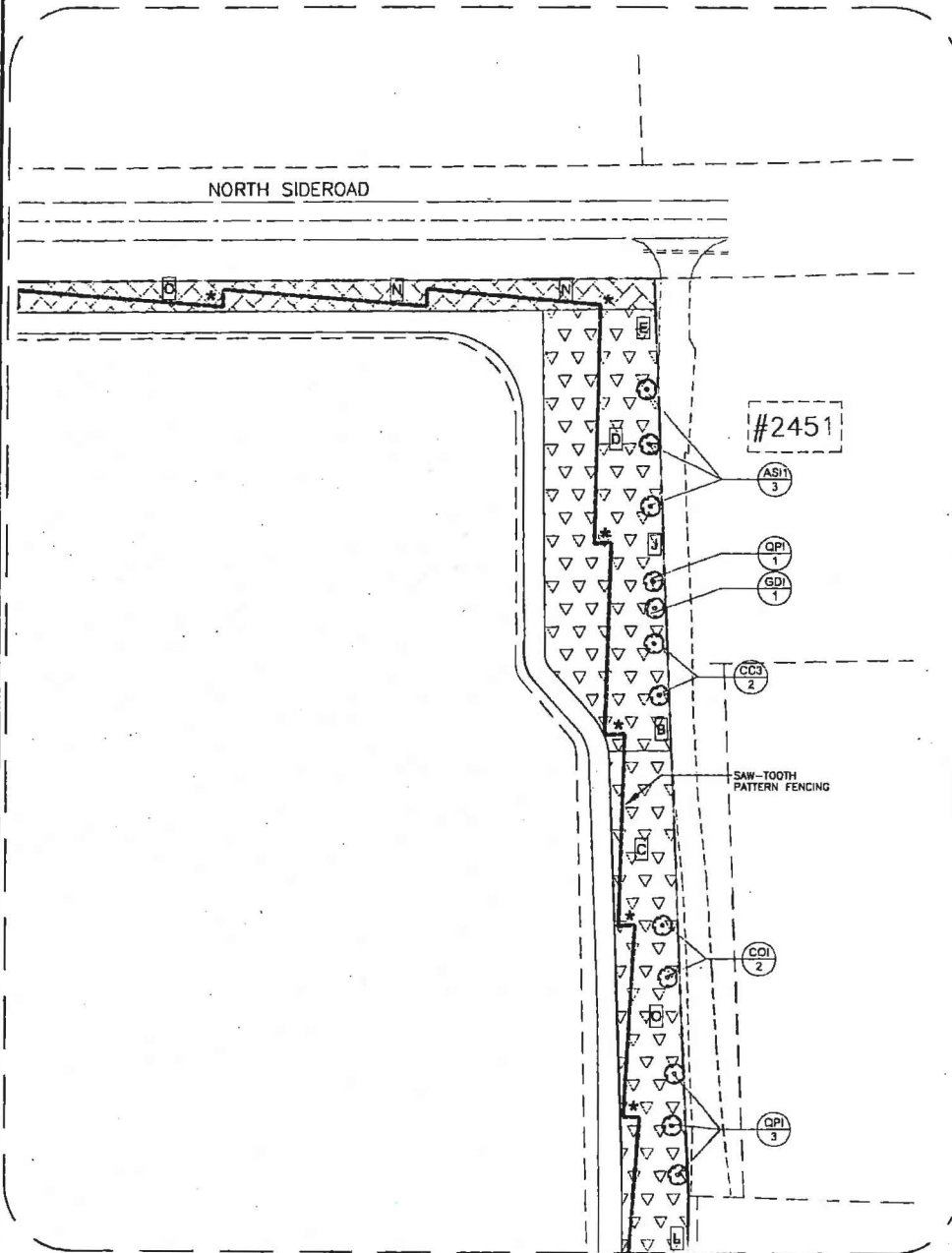
171000 ONTARIO INC.  
*Loris Collavino*  
 LORIS COLLAVINO  
 TOWN OF AMHERSTBURG  
*Wayne Horst*  
 MAYOR: WAYNE HORST  
*Pamela Malott*  
 CAO/CLERK: PAMELA MALOTT

**SUNPOWER**  
 Smarter Solar  
**HELIOS ENERGY**  
 78 Reemore St. Amherstburg, ON N5V 2A3

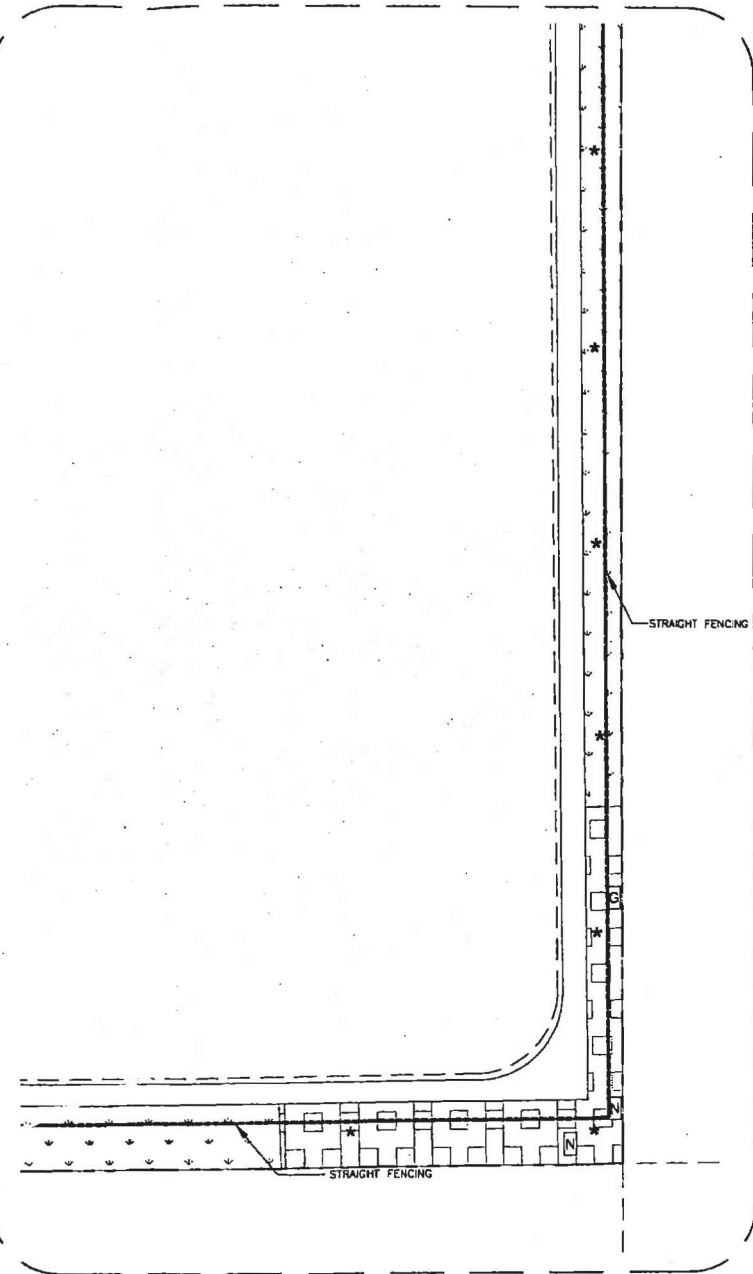
**DILLON CONSULTING**  
 3200 Dewar Drive, Suite 608, Windsor, ON N9W 5K8  
 Phone: (519) 944-5000 Fax: (519) 944-5054

1	SURVEY		
2	DESIGN		
3	DRAFTING		
4			
5			
6			
7	REVISED AS PER TOWN'S COMMENTS	DECEMBER 3/08	HAL
8	REVISED AS PER CLIENT'S REQUEST	NOVEMBER 3/08	HAL
9	FOR MUNICIPAL REVIEW	OCTOBER 23/08	HAL/MSJ
10	ISSUED FOR	OAC	BY

SUNPOWER - HELIOS ENERGY  
 SITE PLAN CONTROL  
 SITE A - LANDSCAPE DETAIL AREA 2  
 PROJECT NO. 08-9915-1000  
 SHEET NO. 7A



DETAIL E



DETAIL F

- LEGEND**
- SITE BOUNDARY
  - MANAGED MEADOW  
(REFER TO MANAGED MEADOW SEED MIXTURE AND SPECIFICATIONS ON PLANTING SPECIFICATIONS DWG. 5D)
  - PROPOSED TALL GRASS PRAIRIE BUFFER  
(REFER TO TALL GRASS SEED MIXTURE AND SPECIFICATIONS ON PLANTING SPECIFICATIONS DWG. 5D)
  - PROPOSED TALL GRASS PRAIRIE WITH SHRUB BUFFER  
(THE TALL GRASS PRAIRIE WITH SHRUB BUFFER IS INTENDED TO BE USED IN AREAS WITHOUT AN EXISTING ABUNDANCE OF VEGETATION DIVERSITY. THESE BUFFERS WILL PROVIDE AN INCREASE IN VEGETATION AND HABITAT DIVERSITY. THEY WILL ALSO CREATE OPPORTUNITIES FOR WILDLIFE LINKAGES.  
SHRUB PLANTING CELL DENSITY = 10% LINEAR COVERAGE  
VINE PLANTING DENSITY = 1 VINE PER 30.0m (TYPICAL)
  - PROPOSED LIVING FENCE BUFFER  
(THE LIVING FENCE BUFFER IS TO BE USED IN AREAS OF CLOSE PROXIMITY TO RESIDENTIAL HOMES. CURRENTLY, THERE EXISTS ONLY AGRICULTURAL CROPS IN THE FIELDS ADJACENT TO THE HOMEOWNER'S PROPERTY. THE LIVING FENCE BUFFER WILL PROVIDE AN INCREASED LEVEL OF VEGETATION AND WILDLIFE HABITAT DIVERSITY. THESE AREAS WILL ALSO PROVIDE AN ENHANCED VIEWERSHIP FOR THE NEIGHBOURING HOMEOWNERS THROUGH THE CONSENSUS LOCATION OF CALIPER TREES, SHRUB/WHIP PLANTING CELLS AND VINES.  
CALIPER TREE PLANTING DENSITY = 1 TREE PER 20.0 LINEAR METRES  
SHRUB/WHIP PLANTING CELL DENSITY = 20% LINEAR COVERAGE  
VINE PLANTING DENSITY = 1 VINE PER 30.0m (TYPICAL)
  - PROPOSED ROADSIDE BUFFER  
(THE ROADSIDE BUFFER IS TO BE USED IN AREAS OF CLOSE PROXIMITY TO LOCAL PERIMETER ROADS. THESE AREAS ARE TYPICALLY ADJACENT TO ROADSIDE DITCHES WITHOUT AN EXISTING ABUNDANCE OR DIVERSITY OF VEGETATION. THE ROADSIDE BUFFER WILL EMPLOY A TALL GRASS PRAIRIE SEED MIXTURE INTEGRATED WITH SHRUB PLANTING CELLS. THE SHRUB PLANTING CELLS WILL INCREASE HABITAT DIVERSITY FOR WILDLIFE AND PROVIDE AN ENHANCED VISUAL TEXTURE TO PASSING MOTORISTS.  
SHRUB PLANTING CELL DENSITY = 10% LINEAR COVERAGE (TYPICAL)  
VINE PLANTING DENSITY = 1 VINE PER 30.0m (TYPICAL)
  - PROPOSED WETLAND BUFFER  
(REFER TO NATIVE WETLAND SEED MIXTURE AND SPECIFICATIONS ON PLANTING SPECIFICATIONS DWG. 5D)
  - AREA TO REMAIN UNDER AGRICULTURAL PRODUCTION OR APPROPRIATE GROUND COVER
  - PROPOSED 2.4m (8') FENCE
  - PROPOSED PLANTING CELL/PLANT CELL TYPE  
(REFER TO LANDSCAPE DETAILS - SHEET 5D)
  - PROPOSED CALIPER TREE
  - PROPOSED VINES
  - PROPOSED INVERTER
  - PROPOSED UNDERGROUND ELECTRICAL WIREWAY

NOTE: ALL AREAS NOT OCCUPIED BY TRACKER UNITS WILL CONTINUE TO BE FARMED.  
NOTE: STAGING AREAS WILL BE REGRADED AND SEEDED.

SCHEDULE "C-4" TO BY-LAW 2008-79

1710690 ONTARIO INC.

*Loris Collavino*  
LORIS COLLAVINO

TOWN OF AMHERSTBURG

*Wayne Hurst*  
MAYOR - WAYNE HURST

*Pamela Malott*  
CAO/CLERK - PAMELA MALOTT

DATE: 05/20/2008 11:23:30am C:\Users\jcollavino\Documents\1710690\1710690.dwg 2008/05/20 11:23:30am 08-9915-1000.dwg

**SUNPOWER**  
Smarter Solar  
**HELIOS ENERGY**  
79 Richmond St. Amherstburg, ON N0V 2A5

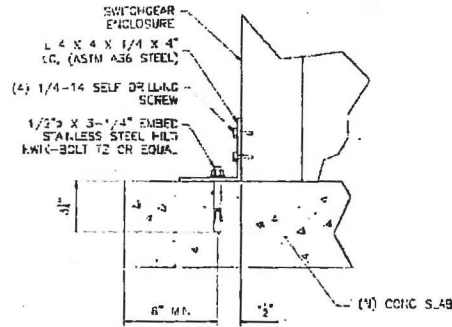
**DILLON CONSULTING**  
3300 Barfield Drive, Suite 100, Windsor, ON N9B 5G5  
Phone: (519) 948-5000 Fax: (519) 948-5054

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2	REVISED AS PER OWNER COMMENTS	06/02/08	MAK
3	REVISED AS PER CLIENT'S REQUEST	06/02/08	MAK
4	FOR MUNICIPAL REVIEW	06/02/08	JM/MAK
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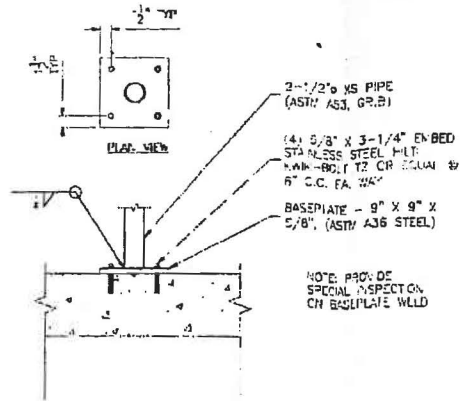
SUNPOWER - HELIOS ENERGY  
PROJECT NO. 08-9915-1000  
SHEET NO. 8A  
SITE PLAN CONTROL  
SITE A - LANDSCAPE DETAIL AREA 3



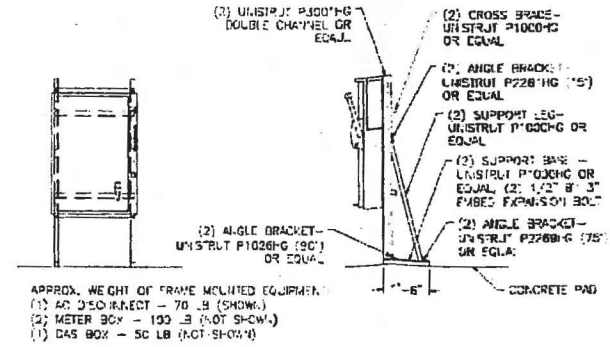




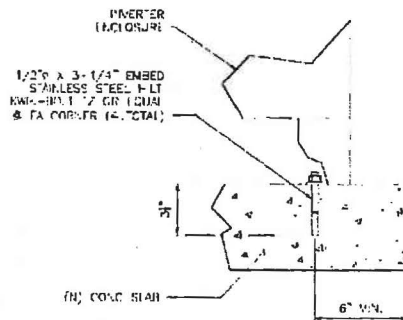
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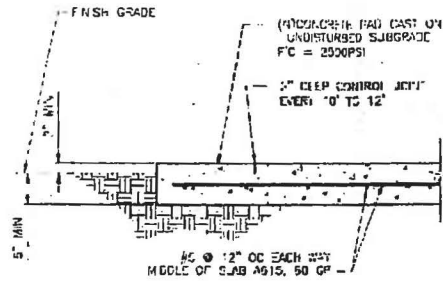
2 FENCE POST DETAIL  
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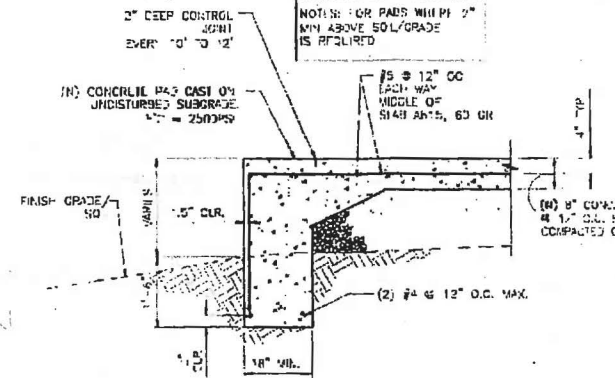
3 LIGHT EQUIPMENT ANCHORAGE  
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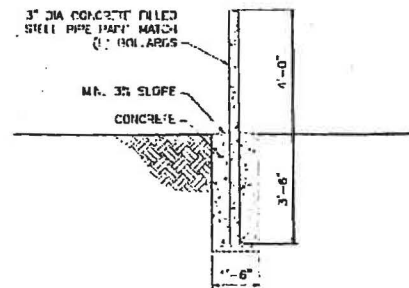
4 INVERTER ANCHORAGE  
SCALE: 3/4"=1'-0"



5 PAD SECTION - FLAT SITE CONDITION  
SCALE: 1"=1'-0"



6 PAD SECTION - HILLY SITE CONDITION  
SCALE: 3/4"=1'-0"



7 BOLLARD FOUNDATION SECTION  
SCALE: 1/2"=1'-0"

NOTES:

CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH LATEST EDITION OF ACI 318. ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO A.S.T.M. A-C-5 GRADE 60. ALL CONCRETE SHALL BE READY MIXED CONCRETE CONFORMING TO A.S.T.M. C-33. CONCRETE SHALL DEVELOP A 2500 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS.

MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF SPECIFICATIONS FOR MASONRY STRUCTURES ACCORDING TO ASCE/TMS602. BLOCK SHALL BE NORMAL WEIGHT UNITS CONFORMING TO ASTM C-90 TYPE 1, f'm=1,500psi MIN. MUM. GROUT SHALL CONFORM TO THE PROPORTION REQUIREMENTS OF ASTM C476. MORTAR SHALL BE TYPE S AND SHALL CONFORM TO ASTM 770. HORIZONTAL JOINT REINFORCEMENT SHALL BE PER ASTM A-82. HORIZONTAL JOINT REINFORCEMENT SHALL BE PROVIDED @ 16" O.C. ALL MASONRY SHALL BE LAD BURNING BOND UNLESS NOTED OTHERWISE. VERTICAL BARS SHALL BE FULLY GROUTED CORES AND BE CONTINUOUS TO THE FOUNDATION.

SCHEDULE "E" TO BY-LAW 2008-79

1710690 ONTARIO INC.

LORIS COLLAVINO

TOWN OF AMHERSTBURG

MAYOR WAYNE HURST

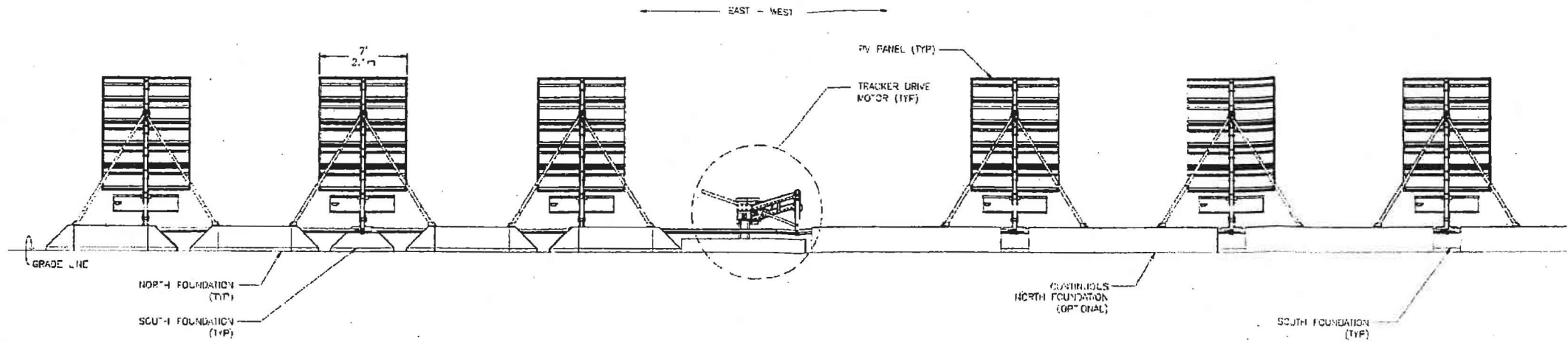
CAO/CLERK - PAMELA MALOTT

SUNPOWER  
Smarter Solar  
HELIOS ENERGY

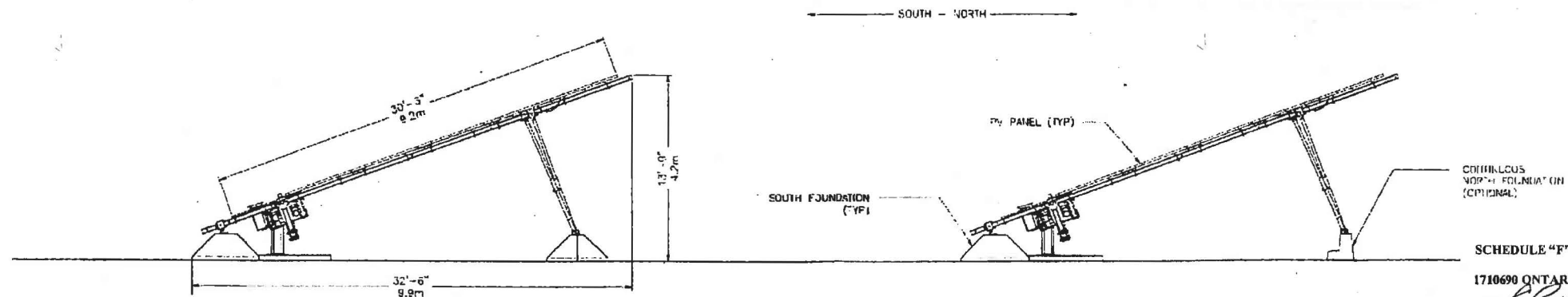
DILLON  
CONSULTING

NO.	REVISION	DATE	BY
1			
2			
3			
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6			
7	REVISED AS PER CLIENT'S REQUEST FOR MUNICIPAL REVIEW	DECEMBER 14/16	MLL
8		OCTOBER 13/16	AMANDT
9			

SUNPOWER - HELIOS ENERGY  
PROJECT NO. 08-9915-1000  
SITE PLAN CONTROL  
DETAILS - TRACKER EQUIPMENT PAD  
SHEET NO. 2D



1 TYPICAL TRACKER T20 FOUNDATION LAYOUT (EAST - WEST)  
 5'-2.0" SCALE: 1/4" = 1'-0"



2 TYPICAL TRACKER T20 FOUNDATION LAYOUT (NORTH - SOUTH)  
 5'-2.0" SCALE: 1/4" = 1'-0"

SCHEDULE "F" TO BY-LAW 2008-79

1710690 ONTARIO INC.

*Loris Collavino*  
 LORIS COLLAVINO

TOWN OF AMHERSTBURG  
*Wayne Hurst*  
 MAYOR WAYNE HURST

*Pamela Malott*  
 CAO/CLERK - PAMELA MALOTT

**SUNPOWER**  
 Smarter Solar  
**HELIOS ENERGY**  
 78 Richmond St. Amherstburg, ON N2B 2A5

**DILLON**  
 CONSULTING  
 2250 Dufferin Drive, Suite 225, Windsor, ON N9B 3K6  
 Phone: (519) 244-2200 Fax: (519) 244-2004

NO.	DESCRIPTION	DATE	BY
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2	REVISED AS PER CLIENT'S REQUEST		
3	FOR AMHERSTBURG REVIEW		

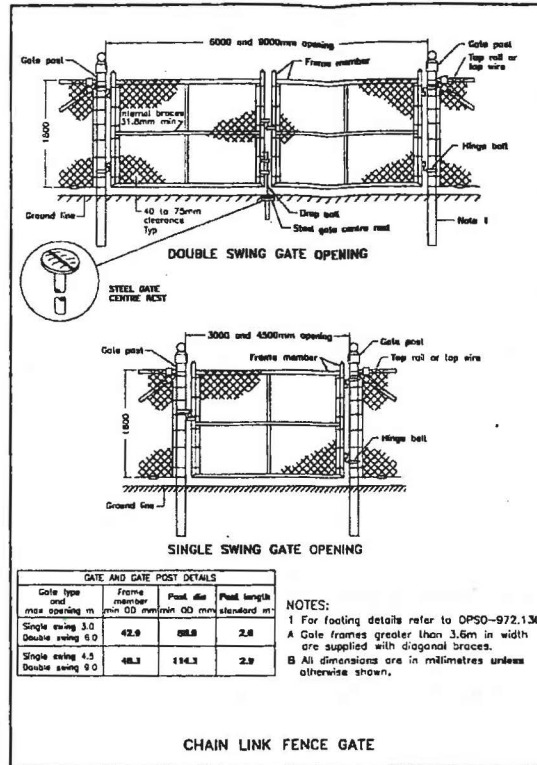
**SUNPOWER - HELIOS ENERGY**

**SITE PLAN CONTROL**  
**DETAILS - TYPICAL TRACKER**

PROJECT NO.  
 08-9915-1000

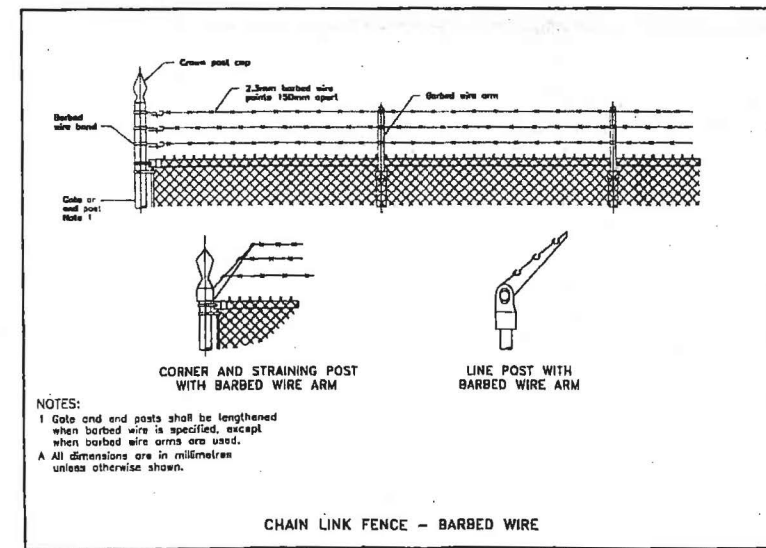
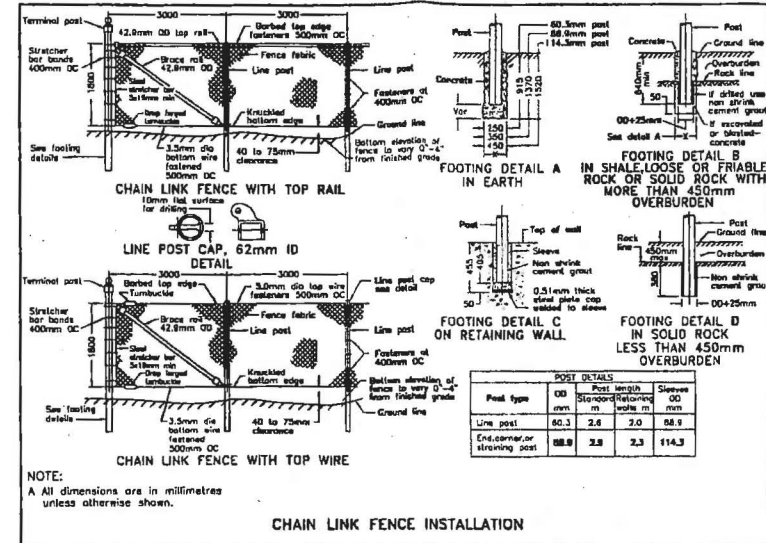
SHEET NO.  
**3D**





**NOTE:**

1 For footing details refer to DPSO-972.130.  
 A Gate frames greater than 3.6m in width are supplied with diagonal braces.  
 B All dimensions are in millimetres unless otherwise shown.



SCHEDULE "C" TO BY-LAW 2008-27

1710690 ONTARIO INC.

LORIS COLLAVINO

TOWN OF AMHERSTBURG

MAYOR WAYNE HURST

CAO/CLERK- PAMELA MALOTT



NO.	REVISION	DATE	BY
1	ISSUED FOR PER CLIENT'S REQUEST	NOVEMBER 1/08	HAL
2	FOR MUNICIPAL REVIEW	DECEMBER 23/08	AM/NOT
3	ISSUED FOR		

SUNPOWER - HELIOS ENERGY

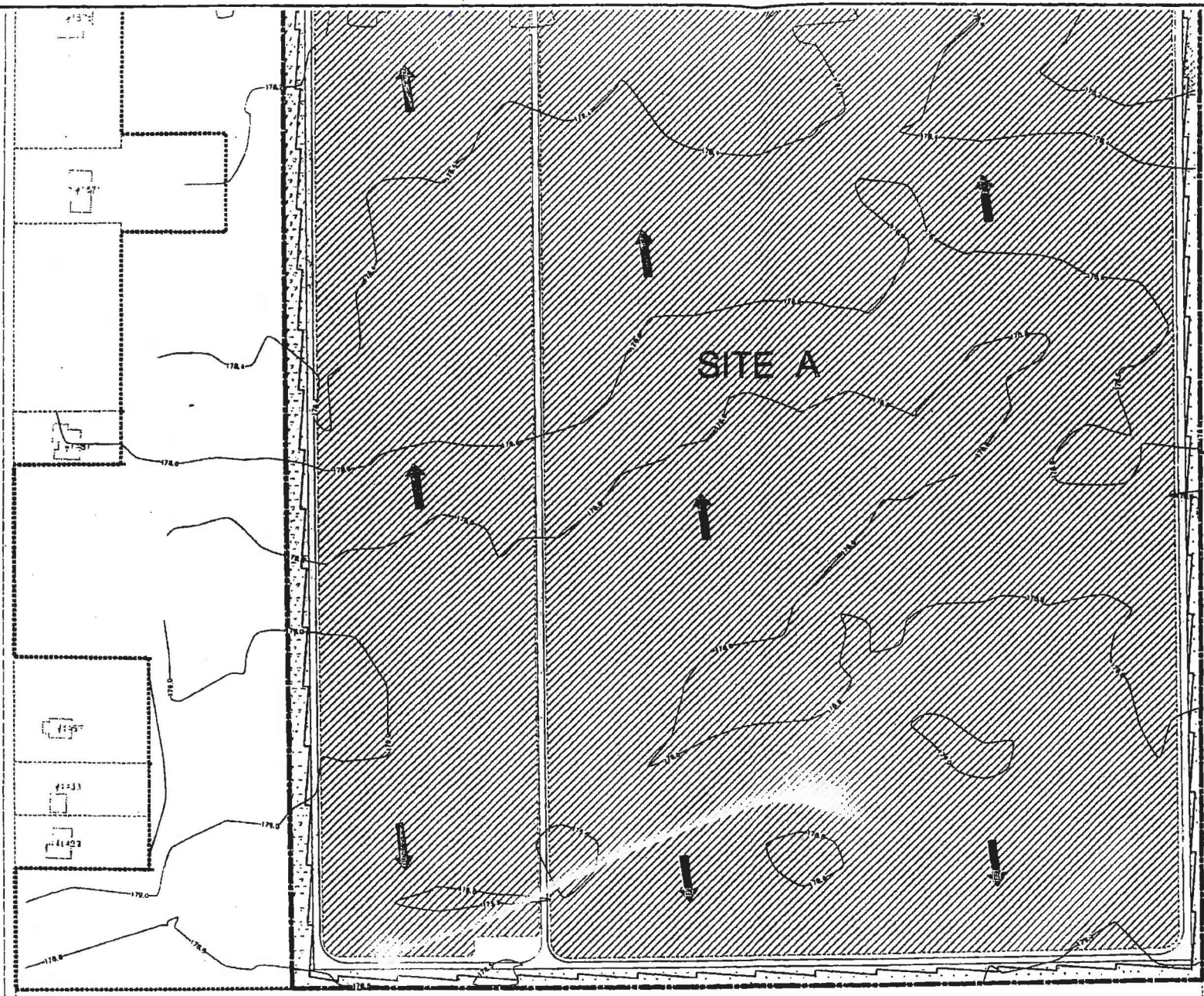
PROJECT NO. 08-9915-1000

SITE PLAN CONTROL DETAILS - FENCE AND GATE










SHEET NO. 4D

Sun OS, 2008 - © Sun, C:\AO\AMHERST\2008\Drawings\08-9915-1000\Drawings\08-9915-1000.dwg

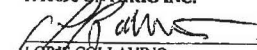
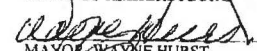

2nd CONCESSION ROAD



**LEGEND**

-  SITE BOUNDARY
-  PROPOSED TRACKER UNITS
-  PROPOSED TALL GRASS PRAIRIE BUFFER
-  PROPOSED TALL GRASS PRAIRIE WITH SHRUB BUFFER
-  PROPOSED LIVING FENCE BUFFER
-  PROPOSED ROADSIDE BUFFER
-  PROPOSED 2.4m (8') FENCE
-  PROPOSED ACCESS ROAD
-  DRAINAGE ROUTE

- GENERAL NOTES:**
1. PROVIDE SILT FENCE AS NECESSARY TO INTERCEPT SURFACE DRAINAGE BEFORE ENTERING EXISTING DRAINS OR DITCHES.
  2. PROPOSED ROADS TO MATCH EXISTING GRADING TO PERMIT SURFACE DRAINAGE AS SHOWN

SCHEDULE "H" TO BY-LAW 2008-79  
 1710690 ONTARIO INC.  
  
 LORIS COLLAVINO  
 TOWN OF AMHERSTBURG  
  
 MAYOR WAYNE HURST  
  
 CAO/CLERK- PAMELA MALOTT

**SUNPOWER**  
 Greater Solar  
**HELIOS ENERGY**

  
**DILLON**  
 CONSULTING

DATE	
DESCRIPTION	
PROJECT	
PROJECT NO.	
DATE	
BY	
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SCALE	
PROJECT	
PROJECT NO.	
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BY	
CHECKED BY	
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SCALE	

SUNPOWER - HELIOS ENERGY  
 SITE PLAN CONTROL  
 SITE A - DRAINAGE PLAN

08-9915-1000  
 8A

NORTH SIDEROAD










2nd CONCESSION ROAD

SITE B

SITE A

SITE A / B BOUNDARY LINE

**LEGEND**

-  SITE BOUNDARY
-  PROPOSED TRACKER UNITS
-  PROPOSED TALL GRASS PRAIRIE BUFFER
-  PROPOSED TALL GRASS PRAIRIE WITH SHRUB BUFFER
-  PROPOSED LIVING FENCE BUFFER
-  PROPOSED ROADSIDE BUFFER
-  PROPOSED 2.4m (8') FENCE
-  PROPOSED ACCESS ROAD
-  DRAINAGE ROUTE

**GENERAL NOTES:**

1. PROVIDE SILT FENCE AS NECESSARY TO INTERCEPT SURFACE DRAINAGE BEFORE ENTERING EXISTING DRAINS OR DITCHES
2. PROPOSED ROADS TO MATCH EXISTING GRADING TO PERMIT SURFACE DRAINAGE AS SHOWN

SCHEDULE "H" TO BY-LAW 2008-79 CONTINUED

1710690 ONTARIO INC.

*Loris Collavino*  
LORIS COLLAVINO

TOWN OF AMHERSTBURG

*Wayne Hurst*  
MAYOR WAYNE HURST

*Pamela Malott*  
CAO/CLERK - PAMELA MALOTT

**SUNPOWER**  
Sustainable Solar  
**HELIOS ENERGY**

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SUNPOWER - HELIOS ENERGY

08-9915-1000

SITE PLAN CONTROL  
SITE A AND B - DRAINAGE PLAN

8B

1710690, ONTARIO INC.

  
LOIS COLLAVINO

TOWN OF AMHERSTBURG

  
MAYOR WAYNE HURST

  
CAO/CLERK PAMELA MALOTT

**Sunpower  
Helios Energy  
Stormwater Management  
Report  
Town of Amhestburg  
County of Essex**

***Final Report***

*October 2008*

08-9915-1000

*Submitted By*

**Dillon Consulting Limited**

3200 Deziel Drive, Suite 608  
Windsor, Ontario N8W 5K8  
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Facsimile: (519) 948-6054  
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1.2	SOIL CONDITIONS .....	2
1.3	DRAINAGE .....	2
2.0	PHYSICAL LAND ALTERATIONS RESULTING FROM DEVELOPMENT .....	2
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6.0	SUMMARY .....	6

FIGURE 1	-	LOCATION MAP
FIGURE 2	-	SITE 'A' – SITE PLAN
FIGURE 3	-	SITE 'B' – SITE PLAN
FIGURE 4	-	SITE 'C' – SITE PLAN
FIGURE 5	-	SOLAR PANEL FOUNDATION DETAILS
FIGURE 6	-	SOLAR PANEL STRUCTURAL ELEVATIONS
APPENDIX 'A'	-	GEOTECHNICAL SUMMARY LETTER

## **1.0 INTRODUCTION**

Solar farm developments are proposed on three vacant parcels of land totalling 193.96 hectares in size. A location map for the 3 sites is shown in Figure 1.0. The three sites (Site A, Site B, and Site C) are shown in Figures 2.0, 3.0, and 4.0, and are located in the Town of Amherstburg, within the County of Essex.

### **1.1 Topography**

#### Site A

Site A is located near the southeast corner of North Side Road and Concession 2 North. The total site area is 38.7 hectares.

The site is relatively flat, with a gradual slope from south to north towards North Side Road. An existing ditch on the south side of North Side Road conveys runoff to River Canard.

#### Site B

Site B is bounded by Concession 2 North to the east, North Side Road to the south, and River Canard to the northwest. The Essex Terminal Railway extends through the site from south to north.

The total site area is 93.6 hectares. The majority of the site (80.7 Ha) is at the northwest corner of the North Side Road and Concession 2 North intersection. A small portion of Site B (12.9 Ha) is located at the southeast corner of the same intersection, adjacent to Site A.

The site is relatively flat with a gradual slope to the northwest, towards River Canard.

#### Site C

The site is located on the east side of 3<sup>rd</sup> Concession North, north of Alma Street. The total site

area is 61.6 hectares.

The site is relatively flat, generally sloping from the north east to the south west towards an open drain that runs west across the southern part of the property.

## **1.2 Soil Conditions**

A geotechnical investigation was completed on all three of the proposed sites. A total of 28 boreholes were drilled in March 2008. In general, the soils consist of a layer of topsoil, ranging from 240mm to 610mm in thickness, overlaying a thick layer of firm to very stiff silty clay till. (See Appendix A for the Geotechnical Summary Letter).

## **1.3 Drainage**

Presently, runoff generated from each site is conveyed overland following the contours of the terrain and is intercepted by shallow swales running toward local drains or ditches. Ultimately, Sites A and B flow into River Canard, while Site C flows into Lake Erie.

## **2.0 PHYSICAL LAND ALTERATIONS RESULTING FROM DEVELOPMENT**

In general, the proposed development will not alter the existing site grades. The solar panels will be installed in rows, placed on site creating little if any impact on the overall drainage patterns of the various sites. Each panel will be mounted on two concrete footing bases. The area of the two bases for each panel total 3.87 m<sup>2</sup>. The panels will be elevated with native ground cover in and around the panel. See Figures 5.0 and 6.0 for details of the panels and the bases.

Rain water will land on the solar collector panels and runoff directly onto the ground below the individual panels. Minimal erosion is anticipated beneath each solar panel. However, the overall effects of the runoff generated from the various solar panels within the watershed will be minimal as the proposed site ground cover, comprised of dense grasses, will enhance the infiltration characteristics of the soil as compared to current conventional agricultural practices.

In addition to the panels and bases, each site will have the following site features:

- One 15m x 9m concrete pad accommodating the switchgear, meter pad and building,
- One 9m x 3m concrete equipment pad associated with each of the 335 solar panels.
- One control box associated with each of the 8 solar panels.
- Existing gravel road network will be altered and enhanced to facilitate vehicle movement around each site.
- A staging area for use during construction that may remain a gravel surface.

### **3.0 STORMWATER ASSESSMENT**

A summary and assessment of the various impacts associated with the installation of the solar panels and associated equipment for each site is as follows:

#### Site A

Number of Panels .....	3641
Total Panel Base Area (3.87m <sup>2</sup> / panel) .....	1.41 Ha
Number of Equipment Pads .....	11
Total Area of Concrete Equipment Pads (27.87m <sup>2</sup> / pad).....	0.031 Ha
Number of Control Boxes.....	408
Total Area of Control Boxes (7.43m <sup>2</sup> / box).....	0.303 Ha
Switchgear and Meter .....	1
Total Area of Switchgear and Meter (250.80m <sup>2</sup> / box).....	0.025 Ha
Gravel Road Area.....	1.06 Ha
Gravel Staging Area.....	0.36 Ha

Total Site Area (A<sub>t</sub>) = 38.70 Ha

Total Equipment Area (A<sub>e</sub>) = 1.75 Ha

Total Gravel Area (A<sub>g</sub>) = 1.42 Ha



*Stormwater Management Plan  
For Sunpower – Helios Energy  
In the Town of Amherstburg*

---

Using the Rational Method, the increase in impervious area will be analysed. The Rational Method C Factor is a weighted coefficient that provides an indication of the overall imperviousness of a site.

The existing sites have been used for farming. The ground cover is a tilled field that, depending on the time of year, may have planted crops or be barren. A C Factor of 0.40 is typically used for agricultural fields in the area. The proposed ground cover is a natural prairie grass, growing up to 600mm in height. Although runoff from the proposed ground cover is expected to be slower, with a potential for greater infiltration a conservative C Factor value of 0.40 has been used. Gravel areas have a C factor of 0.60, and all impervious surfaces have a C factor of 0.95.

$$C = \frac{[(A_e \times 0.95) + (A_g \times 0.60) + ((A_t - A_e - A_g) \times 0.40)]}{A_t}$$

Using this formula, the existing and proposed C factors were calculated.

**Existing C Factor = 0.40**

**Proposed C Factor = 0.43**

The same approach is used for the two (2) remaining sites:

Site B

Number of Panels .....	3657
Total Panel Base Area (3.87m <sup>2</sup> / panel) .....	1.41 Ha
Number of Equipment Pads .....	10
Total Area of Concrete Equipment Pads (27.87m <sup>2</sup> / pad).....	0.028 Ha
Number of Control Boxes.....	422
Total Area of Control Boxes (7.43m <sup>2</sup> / box).....	0.314 Ha
Switchgear and Meter .....	1
Total Area of Switchgear and Meter (250.80m <sup>2</sup> / box).....	0.025 Ha
Gravel Road Area.....	2.74 Ha

*Stormwater Management Plan  
For Sunpower – Helios Energy  
In the Town of Amherstburg*

---

Gravel Staging Area.....0.28 Ha

Total Site Area ( $A_t$ ) = 93.64 Ha

Total Equipment Area ( $A_e$ ) = 1.73 Ha

Total Gravel Area ( $A_g$ ) = 3.02 Ha

**Existing C Factor = 0.40**

**Proposed C Factor = 0.42**

Site C

Number of Panels ..... 5000

Total Panel Base Area ( $3.87\text{m}^2$  / panel) .....1.94 Ha

Number of Equipment Pads .....15

Total Area of Concrete Equipment Pads ( $27.87\text{m}^2$  / pad).....0.042 Ha

Number of Control Boxes.....626

Total Area of Control Boxes ( $7.43\text{m}^2$  / box).....0.46 Ha

Switchgear and Meter ..... 1

Total Area of Switchgear and Meter ( $250.80\text{m}^2$  / box).....0.025 Ha

Gravel Road Area.....1.53 Ha

Gravel Staging Area.....0.20 Ha

Total Site Area ( $A_t$ ) = 61.62 Ha

Total Equipment Area ( $A_e$ ) = 2.47 Ha

Total Gravel Area ( $A_g$ ) = 1.73 Ha

**Existing C Factor = 0.40**

**Proposed C Factor = 0.43**

In general, the total area of all three sites is 193.96 Ha. A total of 6.02 Ha is being converted to concrete, or 3.1% of the overall land area. This should not have an adverse impact to the sites, the downstream swales and ditches, or the eventual outlets.

The grading of the new roads should follow the existing topography to permit overland drainage. Any alteration of existing drainage patterns will be addressed during and post construction. The sites will be monitored to ensure that existing overland drainage routes are maintained.

Due to the relatively flat nature of the majority of the sites, some water ponding may presently occur. However, given the nature of the proposed development, localized short duration ponding will not adversely affect the site.

#### **4.0 STORMWATER POLLUTION**

As the sites are not expected to generate any local pollution, no on-site pollution abatement controls are proposed on the sites. The extensive use of surface drainage allows for runoff peak flow attenuation and allows removal of suspended solids during flow over grassed areas.

#### **5.0 CONSTRUCTION PERIOD MEASURES**

To minimize the potential for impairment of the quality of receiving waters during construction, an erosion abatement control plan will be implemented during construction. The plan will consist of the following:

- i) Straw bale barriers and/or filter cloth barriers will be installed in existing swales, drains, or at critical downstream flow points to intercept suspended solids carried by overland flow and to prevent the runoff from directly entering existing watercourses.
- ii) Topsoil will be stripped only from areas necessary for installation of concrete pads, services and construction of roads.

#### **6.0 SUMMARY**

Changes to existing topography and imperviousness are minimal, thus no storm water quantity controls are proposed. Once the site has been fully restored, the total runoff from the site may be

*Stormwater Management Plan  
For Sunpower – Helios Energy  
In the Town of Amherstburg*

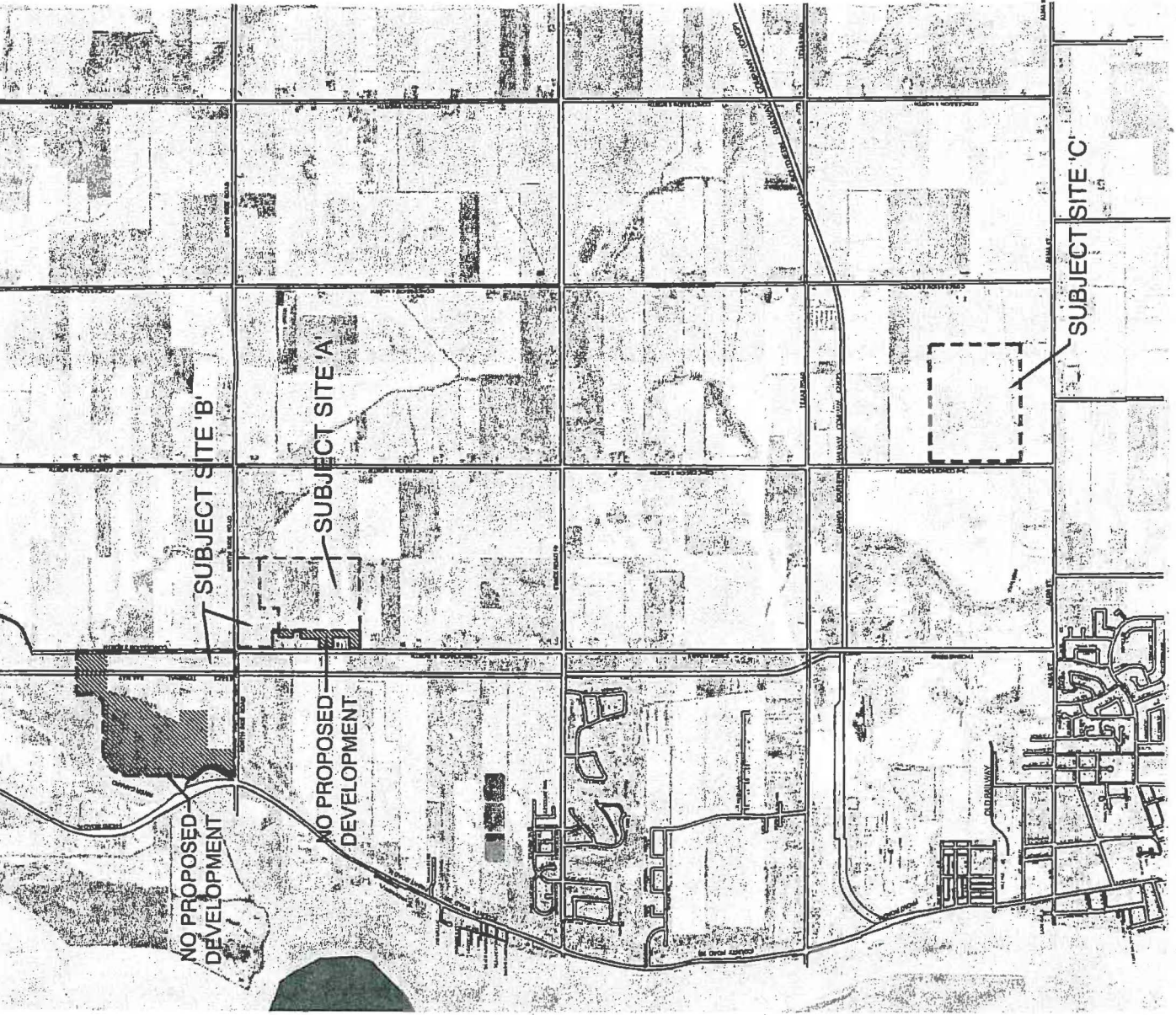
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reduced due to the proposed dense grass coverage. To satisfy the requirements of stormwater management for this development, it is proposed to implement qualitative protection measures during construction only. Once the grass planting and restoration have germinated, the water quality protection measures may be removed.



---

Chris Patten, P. Eng.  
Project Engineer



☐ SUBJECT SITE



Sunpower - Helios Energy  
Drainage Report  
in the Town of Amherstburg

FIGURE 1.0  
Location Map

SUNPOWER  
GROUP INC.

HELIOS ENERGY

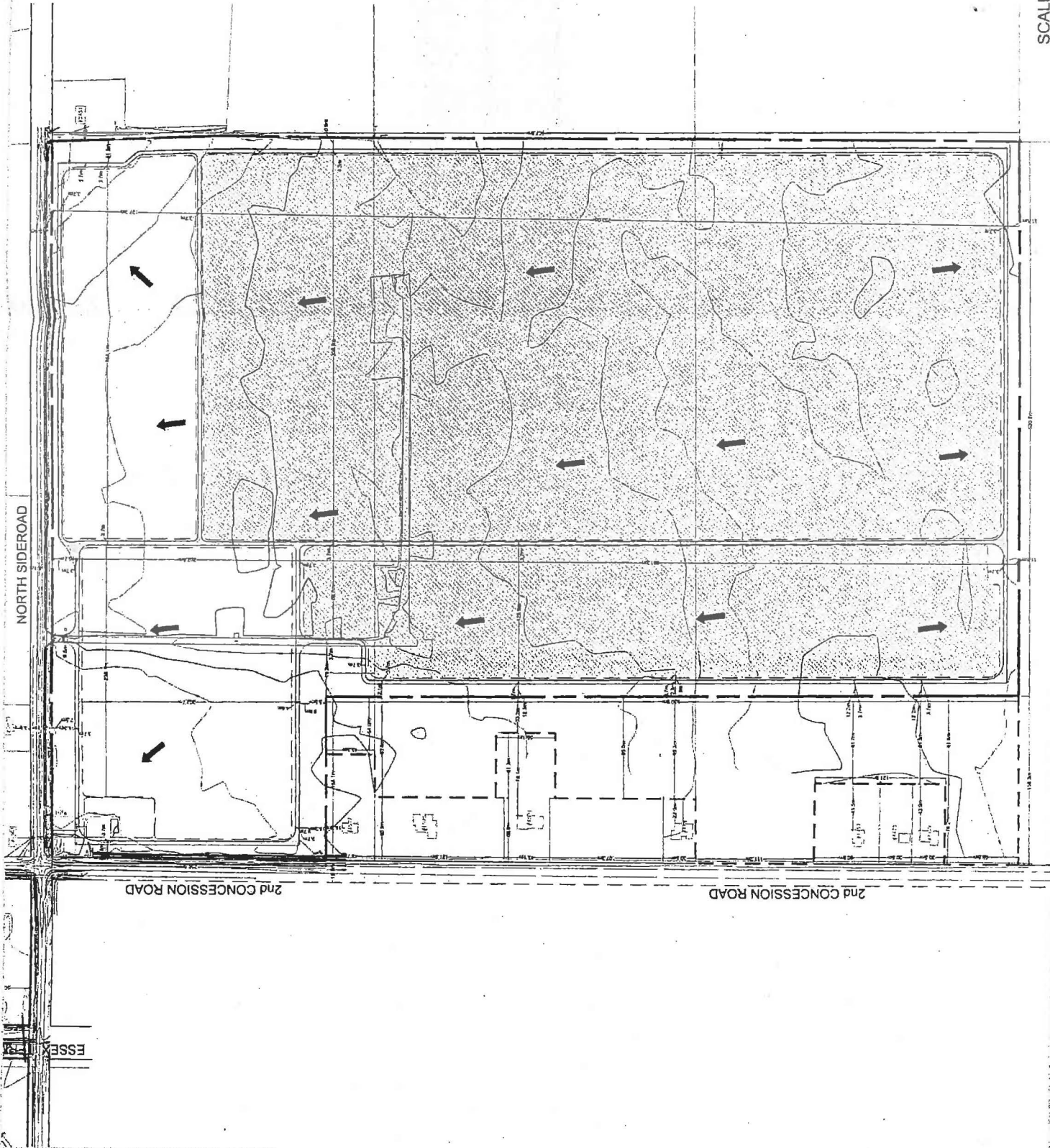


October 2008  
Project No.08-3915-1000

SCALE: NOT TO SCALE

**LEGEND**

-  SITE BOUNDARY
-  PROPOSED TRACKER UNITS
-  PROPOSED ACCESS ROAD
-  DRAINAGE ROUTE



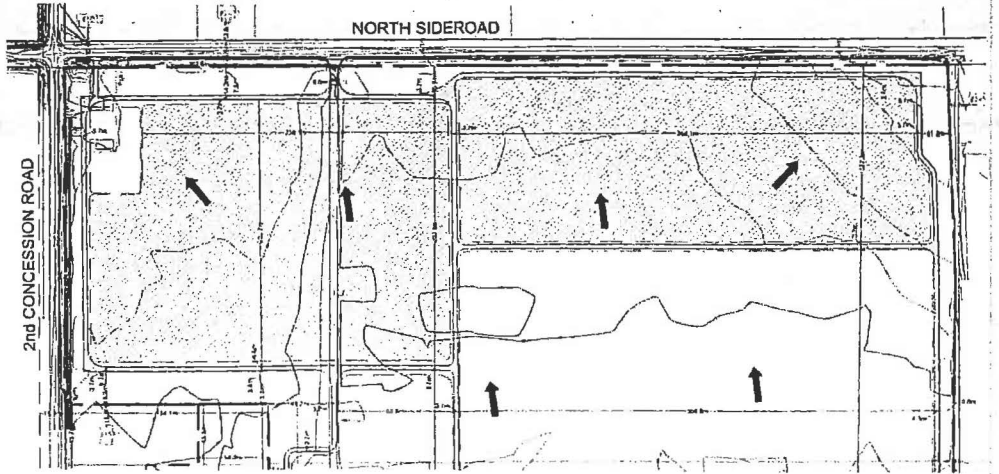
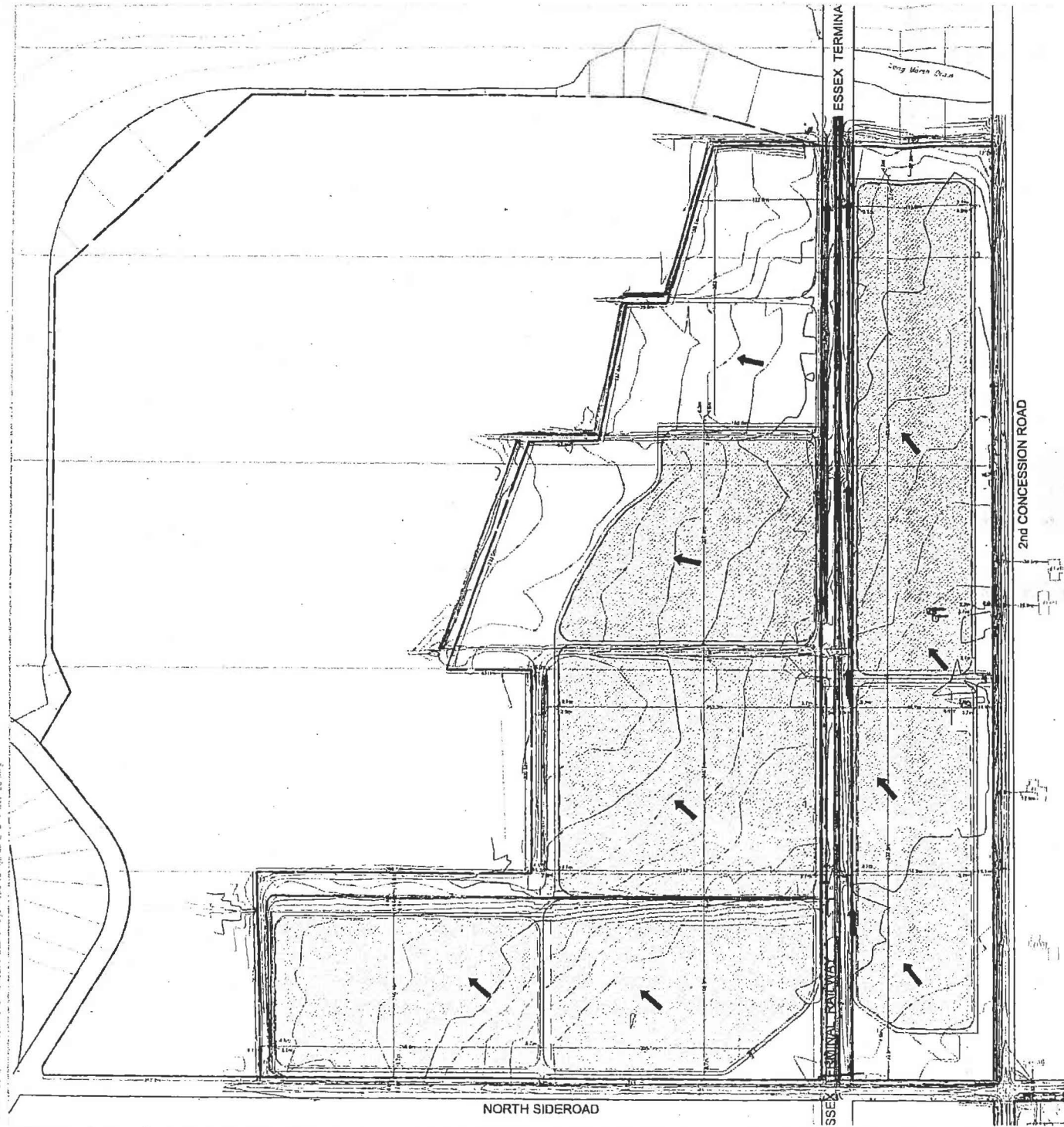
Sunpower - Helios Energy  
 Drainage Report  
 in the Town of Amherstburg  
**FIGURE 2.0**  
 Site A - Site Plan

**SUNPOWER**  
*Smart Solar*

**HELIOS ENERGY**

**DILLON**  
 CONSULTING  
 October 2008  
 Project No. 08-9915-1000

SCALE: NOT TO SCALE



**LEGEND**

- SITE BOUNDARY
- PROPOSED TRACKER UNITS
- PROPOSED ACCESS ROAD
- DRAINAGE ROUTE



**SUNPOWER**  
Smarter Solar

**HELIOS ENERGY**

**DILLON**  
CONSULTING  
October 2008  
Project No.08-9915-1000

Sunpower - Helios Energy  
Drainage Report

in the Town of Amherstburg

**FIGURE 3.0**  
Site B - Site Plan

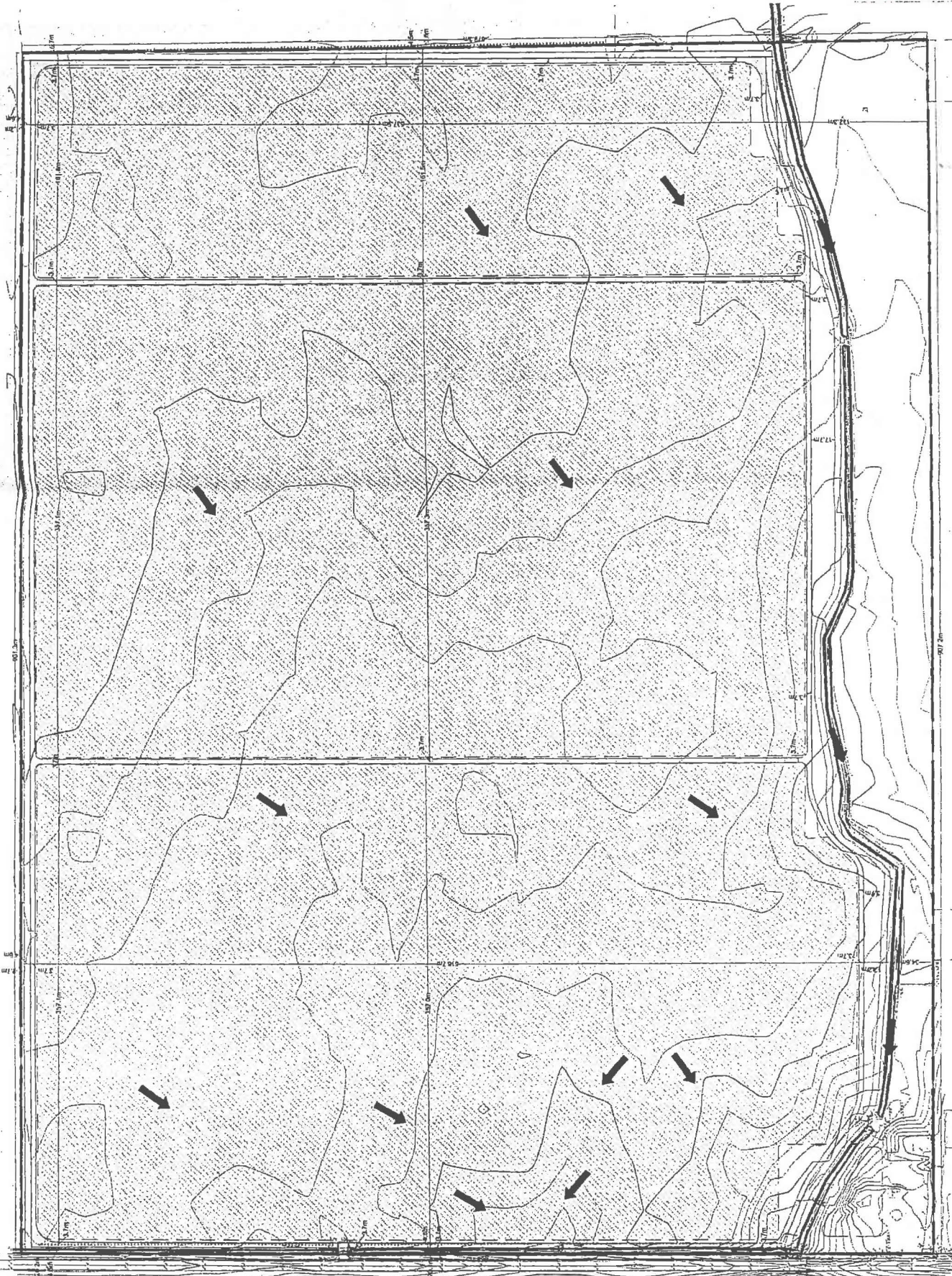
SCALE: NOT TO SCALE



DILLON CONSULTANTS  
 October 2008  
 Project No. 08-9915-1000

LEGEND

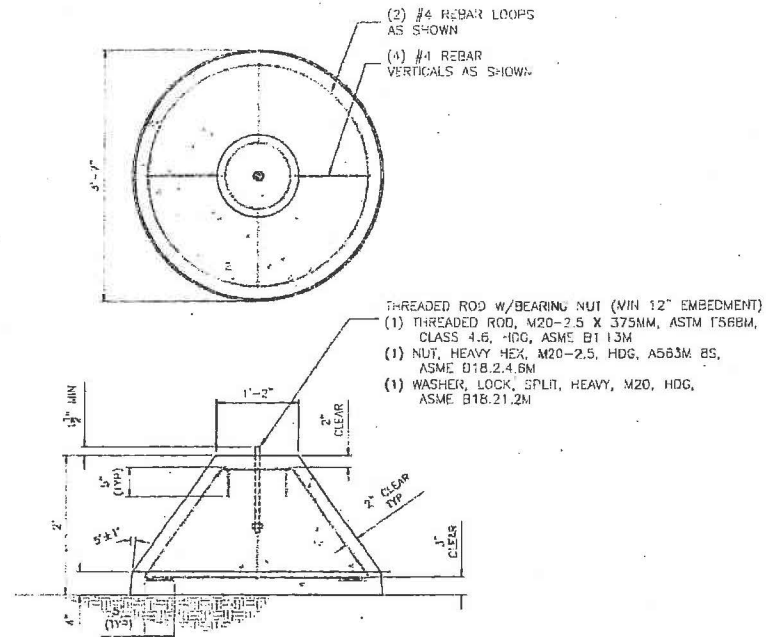
- SITE BOUNDARY
- PROPOSED TRACKER UNITS
- PROPOSED ACCESS ROAD
- DRAINAGE ROUTE



3rd CONCESSION NORTH

SCALE: NOT TO SCALE

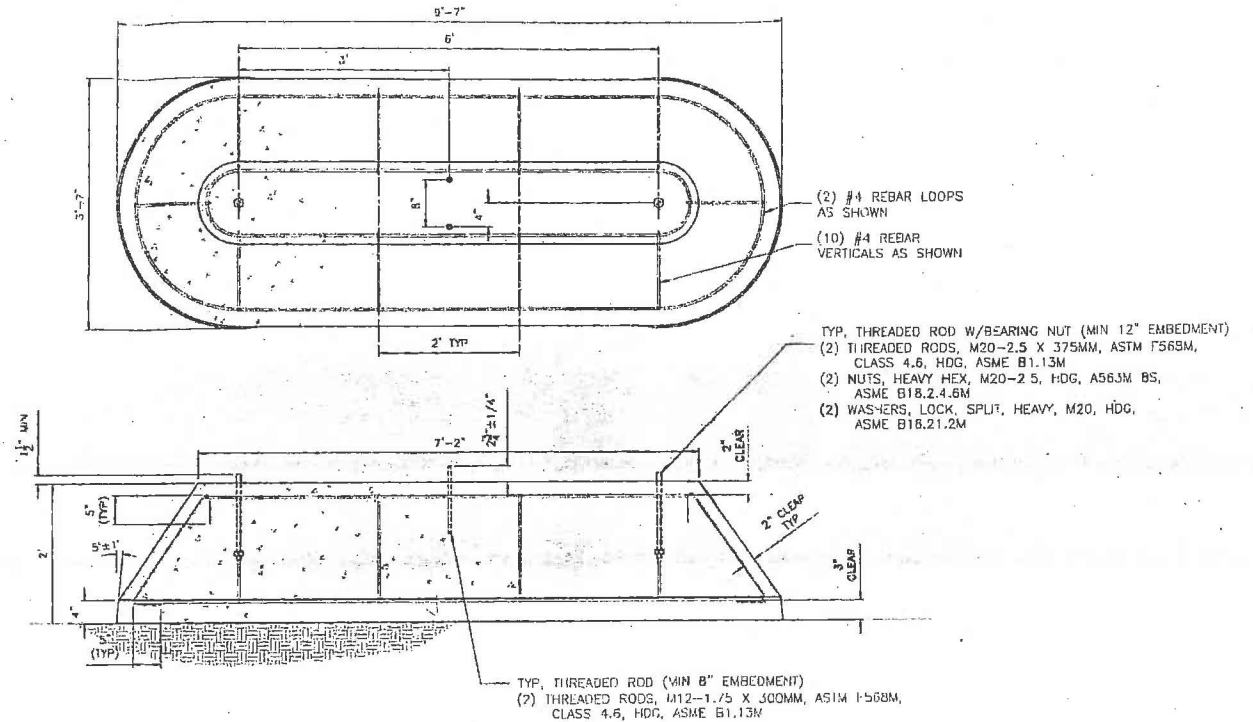




NOTES:

1. SEE STRUCTURAL NOTES (S1.0) FOR CONCRETE SPECS.

1 T20 TRACKER CAST-IN-PLACE SOUTH FOUNDATION  
SCALE: 1" = 1'0"



NOTES:

1. SEE STRUCTURAL NOTES (S-0.0) FOR CONCRETE SPECS.

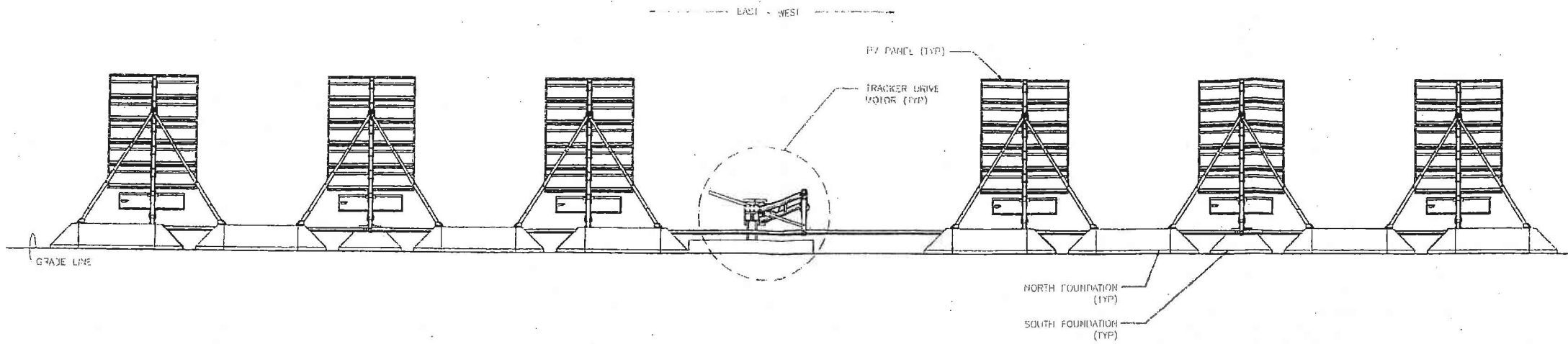
2 T20 TRACKER CAST-IN-PLACE NORTH FOUNDATION  
SCALE: 1" = 1'0"

SCALE: NOT TO SCALE

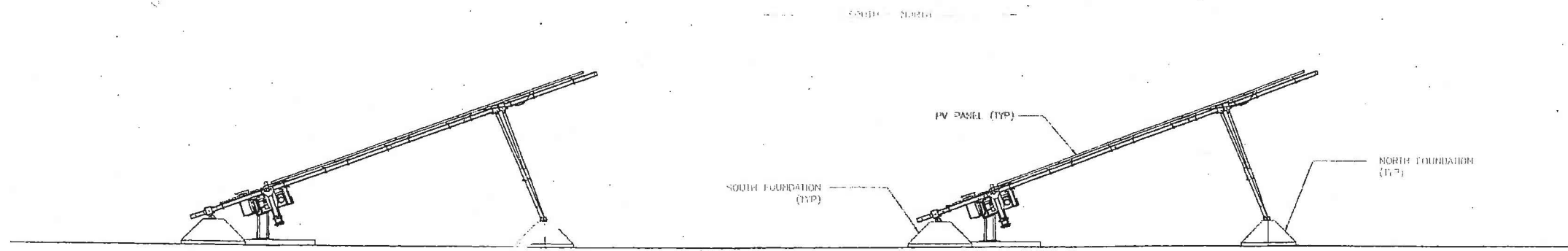
SUNPOWER  
HELIOS ENERGY  
DILLON  
October 2008  
Project No.08-9915-1000

Sunpower - Helios Energy  
Drainage Report  
in the Town of Amherstburg

FIGURE 5.0  
Solar Panel Foundation Details



1 TYPICAL TRACKER T20 FOUNDATION LAYOUT (EAST - WEST)  
 S-2.0 SCALE: 1/4" = 1'-0"



2 TYPICAL TRACKER T20 FOUNDATION LAYOUT (NORTH - SOUTH)  
 S-2.0 SCALE: 1/4" = 1'-0"

SCALE: NOT TO SCALE

**SUNPOWER**  
 Greater Solar  
**HELIOS ENERGY**

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 Project No.08-9915-1000

Sunpower - Helios Energy  
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**FIGURE 6.0**  
 Solar Panel Structural Elevations

**APPENDIX 'A'**

**GEOTECHNICAL SUMMARY LETTER**

**Golder Associates Ltd.**

2465 McDougall Street, Suite 100  
Windsor, Ontario, Canada N8X 3N9  
Telephone 519-250-3733  
Fax 519-250-6452



April 11, 2007

07-1140-0248

SunPower Corporation Systems  
700 South Clinton Avenue  
Trenton, New Jersey  
08611

Attention: Mr. David Eisenbub

**RE: GEOTECHNICAL INVESTIGATION  
THREE DEVELOPMENT SITES  
TOWN OF AMHERSTBURG, ONTARIO**

Dear Sirs:

Golder Associates Ltd. carried out a geotechnical investigation on three sites proposed for development by SunPower Corporation in the Town of Amherstburg, Ontario. Two of the sites are located near the intersection of Northside Road and 2<sup>nd</sup> Concession Road and one near the intersection of Alma Street and 3<sup>rd</sup> Concession Road (Fox Road). The sites vary in size from about 45 to 60 hectares (110 to 150 acres).

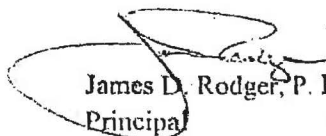
Twenty eight (28) boreholes were advanced at the three sites in early March 2008. The subsurface conditions encountered in the boreholes at each of the sites were similar, generally consisting of topsoil overlying an extensive deposit of firm to very stiff silty clay till to the depths investigated.

Based on the results of the investigation, the subsurface soil conditions appear appropriate to support development of the type proposed for this site.

We trust this letter is sufficient for the present purpose. Should you have any questions regarding this letter, do not hesitate to contact this office.

Yours truly,

**GOLDER ASSOCIATES LTD.**



James D. Rodger, P. Eng.  
Principal

JDR/BG:sm

N:\ACTIVE\2007\1140-0200\07-1140-0248 SUNPOWER SITES ABURG\DOCUMENTS\01108-LET-EISENBUB-SM.DOC



Our File: 06-9951

December 5, 2008

Corporation of the Town of Amherstburg  
271 Sandwich St. South  
Amherstburg, Ontario  
N9V 2A5

Attention: Ms. Lory Bratt and Mr. Dwayne Grondin  
Planning Coordinator Coordinator of Developmental Services

**Stormwater Management  
Helios Solar Star H-1  
Sites 'A', 'B' and 'C'  
Town of Amherstburg**


Dear Ms. Bratt and Mr. Grondin:

On behalf of our client, Helios Solarstar H-1 Company LP, the following stormwater measures will be implemented during and post construction for the three properties in the Town of Amherstburg.

- During construction, stormwater Best Management Practices including silt fences and straw bales will be used to limit sediment from entering into adjacent roadside ditches and drains. Where feasible, perimeter swales will be installed prior to construction to direct site runoff to point source outlets to the existing drains. The outlets will include sediment forebays and rock weirs to permit settlement of sediment and particles prior to discharge;
- The sediment control measure will be monitored regularly during construction and repaired or bolstered as required; and
- The perimeter ditches will be seeded for use as permanent site drainage systems. The swales and outlets will be reviewed and cleaned following construction to ensure their continued functionality.

The Owner will work with the Town of Amherstburg and the Essex Region Conservation Authority to provide construction and post construction measures will be satisfactory to both.

...continued



**DILLON**  
CONSULTING

1000

Deer Creek

St. Catharines

Ontario

Canada

N9A 5K6

Telephone

(905) 542-3366

Fax

(905) 542-3364

Dillon Consulting  
Limited

Corporation of the Town of Amherstburg  
Page 2  
December 5, 2008

Should you require further details regarding this request, please contact the undersigned.

Yours sincerely,

**DILLON CONSULTING LIMITED**



Chris Patten, P.Eng.  
Project Engineer

cc: Mr. Tim Byrne - Essex Region Conservation Authority  
Mr. D. Eisenbud - SunPower Corp.  
Mr. D. Anderson - Helios  
Mr. G. Brandt - Sunpower Corp.

CDP:dt