

**THE CORPORATION OF THE TOWN OF AMHERSTBURG**

**BY-LAW 2007-88**

**A By-law authorizing the signing of an  
amending Development Agreement**

**WHEREAS** Mikhail Holdings has proposed the development of property described as 400 Sandwich Street South for use as a shopping centre plaza;

**AND WHEREAS** By-law 2006-59 provided for the execution of a Development Agreement for a shopping centre plaza on the subject property;

**AND WHEREAS** By-law 2007-16 provided for the execution of an amending Development Agreement as it related to the site plan and certain site servicing issues;

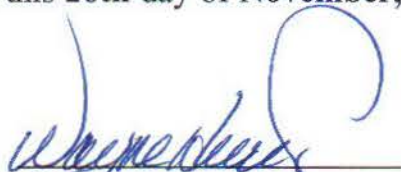
**AND WHEREAS** the Owner has requested to further amend the Development Agreement as it relates to the site plan and certain site servicing issues;


**AND WHEREAS** the Council of the Town of Amherstburg and Owner of the said property have agreed to the terms and conditions of an Amending Agreement in the form annexed hereto;

**NOW THEREFORE** the Council of the Corporation of the Town of Amherstburg hereby enacts as follows:

- 1) That By-law 2006-59 as amended by By-law 2007-16 is hereby further amended in accordance with the attached agreement.
- 2) That in all other respects the provisions and regulations of By-law 2006-59 as amended by By-law 2007-16 shall apply.
- 3) This By-law shall come into force and effect on the date of final passage hereof.

Read a first, second and third time and finally passed this **26th** day of **November, 2007**.

  
\_\_\_\_\_  
Mayor

  
\_\_\_\_\_  
Clerk

Certified to be a true copy of By-law  
2007-88 passed by the Amherstburg  
Municipal Council on November 26, 2007.

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Form 4 — Land Registration Reform Act

FOR OFFICE USE ONLY

R 1547564

CERTIFICATE OF REGISTRATION  
CERTIFICAT D'ENREGISTREMENT  
ESSEX (REG) WINDSOR

2007 DEC 19 PM 1 29

LAND REGISTRY / REGISTRATION

(1) Registry  Land Titles  (2) Page 1 of 21 pages

(3) Property Identifier(s) Block 70566 Property 0023 Additional: See Schedule

(4) Nature of Document  
**AMENDING DEVELOPMENT AGREEMENT**

(5) Consideration  
Dollars \$

(6) Description  
Pt Lot 3 CON 1 Malden (Amherstburg), designated as Part 3 on Plan 12R-22777, and Parts 1 and 4 on Plan 12R-22700;  
Town of Amherstburg, County of Essex, Province of Ontario

New Property Identifiers Additional: See Schedule

Executions Additional: See Schedule

(7) This Document Contains: (a) Redescription New Easement Plan/Sketch  (b) Schedule for: Description  Additional Parties  Other

(8) This Document provides as follows:  
See attached Amending Development Agreement

Continued on Schedule

(9) This Document relates to instrument number(s)  
R1545848, R1546419, CE238591, CE261503

(10) Party(ies) (Set out Status or Interest)  
Name(s) Signature(s) Date of Signature  
Y M D  
THE CORPORATION OF THE TOWN OF AMHERSTBURG  
by solicitor ARMANDO F. DELUCA, Q.C. 2007 12 17

(11) Address for Service 271 Sandwich St. S., Amherstburg, Ontario N9V 2A5

(12) Party(ies) (Set out Status or Interest)  
Name(s) Signature(s) Date of Signature  
Y M D  
MIKHAIL HOLDINGS LIMITED  
(OWNER)

(13) Address for Service

(14) Municipal Address of Property

400 Sandwich St. S.  
Amherstburg, On

(15) Document Prepared by:

ARMANDO F. DELUCA, Q.C.  
Mousseau, DeLuca, McPherson, Prince, LLP  
Barristers and Solicitors  
500-251 Goyeau St.  
Windsor, Ontario  
N9A 6V2

Fees and Tax	
Registration Fee	60.00
<b>Total</b>	<b>60.00</b>

FOR OFFICE USE ONLY

**AMENDING DEVELOPMENT AGREEMENT**

Registered \_\_\_\_\_, 2007

**THIS AGREEMENT** made in triplicate this 26th day of November, 2007.

**BETWEEN:            MIKHAIL HOLDINGS LIMITED**

hereinafter called the "OWNER"  
OF THE FIRST PART

- and -

**THE CORPORATION OF THE TOWN  
OF AMHERSTBURG**

hereinafter called the "CORPORATION"  
OF THE SECOND PART

**WHEREAS** the lands affected by this Agreement are described in Schedule "A" attached hereto, and are hereinafter referred to as the "said lands";

**AND WHEREAS** the Owner warrants it is the registered owner of the said lands;

**AND WHEREAS** in this Agreement the "Owner" includes an individual, an association, a partnership or corporation and, wherever the singular is used therein it shall be construed as including the plural;

**AND WHEREAS** the Official Plan in effect in Amherstburg designated parts of the area covered by the Official Plan as a Site Plan Control area;

**AND WHEREAS** the Corporation passed By-law 2006-59 on August 17, 2006 authorizing the signing of a Development Agreement;

**AND WHEREAS** the Corporation passed By-law 2007-16 on February 12, 2007 authorizing the signing of an amending Development Agreement for the reconfiguration of Building "A" and changes to certain site servicing issues;

**AND WHEREAS** the Owner is proposing the reconfiguration of Building "B" and changes to certain site servicing issues;

**AND WHEREAS** the Owner desires to amend the Development Agreement to provide for the redevelopment of the said lands;

**NOW THEREFORE THE PARTIES HERETO AGREE** to amend the agreement dated August 17, 2006 as amended February 12, 2007 as follows:

1. Section 1 is hereby deleted and replaced with the following:

"The following Schedules, which are identified by the signatures of the parties to this Agreement, and which are attached hereto, are hereby made a part of this Agreement as fully and to all intents and purposes as though recited in full herein:

SCHEDULE "A"    Legal Description of the Said Lands  
SCHEDULE "B"    Site Plan (amended)

- SCHEDULE "C" Servicing:
- (i) Removals and Utility Relocations (amended)
  - (ii) Paving and Grading Plan (amended)
  - (iii) Site Servicing Plan (amended)
  - (iv) Standard Details
  - (v) Additional Parking
- SCHEDULE "D" Electrical Site Services (as per February 12, 2007 agreement)
- SCHEDULE "E" Landscape Plan and Details (as per February 12, 2007 agreement)
- SCHEDULE "F" Elevations (Building "B" - amended)

2. In all other respects the said Development Agreement dated August 17, 2006, as amended February 12, 2007 shall remain in full force and effect. This Agreement shall inure to the benefit of, and be binding upon the parties hereto, and their respective heirs, executors, administrators, successors and assigns.

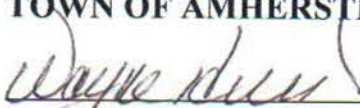
**IN WITNESS WHEREOF** the Town has hereunto affixed their seals attested by the signatures of their proper signing officer and the Developer has hereunto affixed its seal by the signature of its proper signing officers in that regard.

**OWNER:  
MIKHAIL HOLDINGS LIMITED**

  
\_\_\_\_\_  
Joseph Mikhail

  
\_\_\_\_\_  
Louis Mikhail

**THE CORPORATION OF THE  
TOWN OF AMHERSTBURG**

  
\_\_\_\_\_  
Mayor

  
\_\_\_\_\_  
Clerk

Authorized by and approved by  
By-law 2007-88 enacted the  
26th day of November, 2007.

\_\_\_\_\_

**SCHEDULE "A"**

The following is a description of the land to which this instrument applies:

- FIRSTLY:** Parcel Block A-1, Block A on Plan M-83, being Parts 1 to 7 on Plan 12R-7447
- SECONDLY:** Parcel 3-18 Sec Amherstburg, Part Lot 3, Concession 1, being Parts 1 & 2 on Plan 12R-2926, Part 2 on Plan 12R-2927, Parts 2, 3 & 4 on Plan 12R-4482 and Parts 2, 3 & 4 on Plan 12R-6389, Part Lot 3, Concession 1
- THIRDLY:** Part Lot 3, Concession 1  
Parts 1 & 4, Plan 12R-22700  
Part 3, Plan 12R-22777

in the Town of Amherstburg,  
County of Essex  
Province of Ontario

**OWNER:  
MIKHAIL HOLDINGS LIMITED**

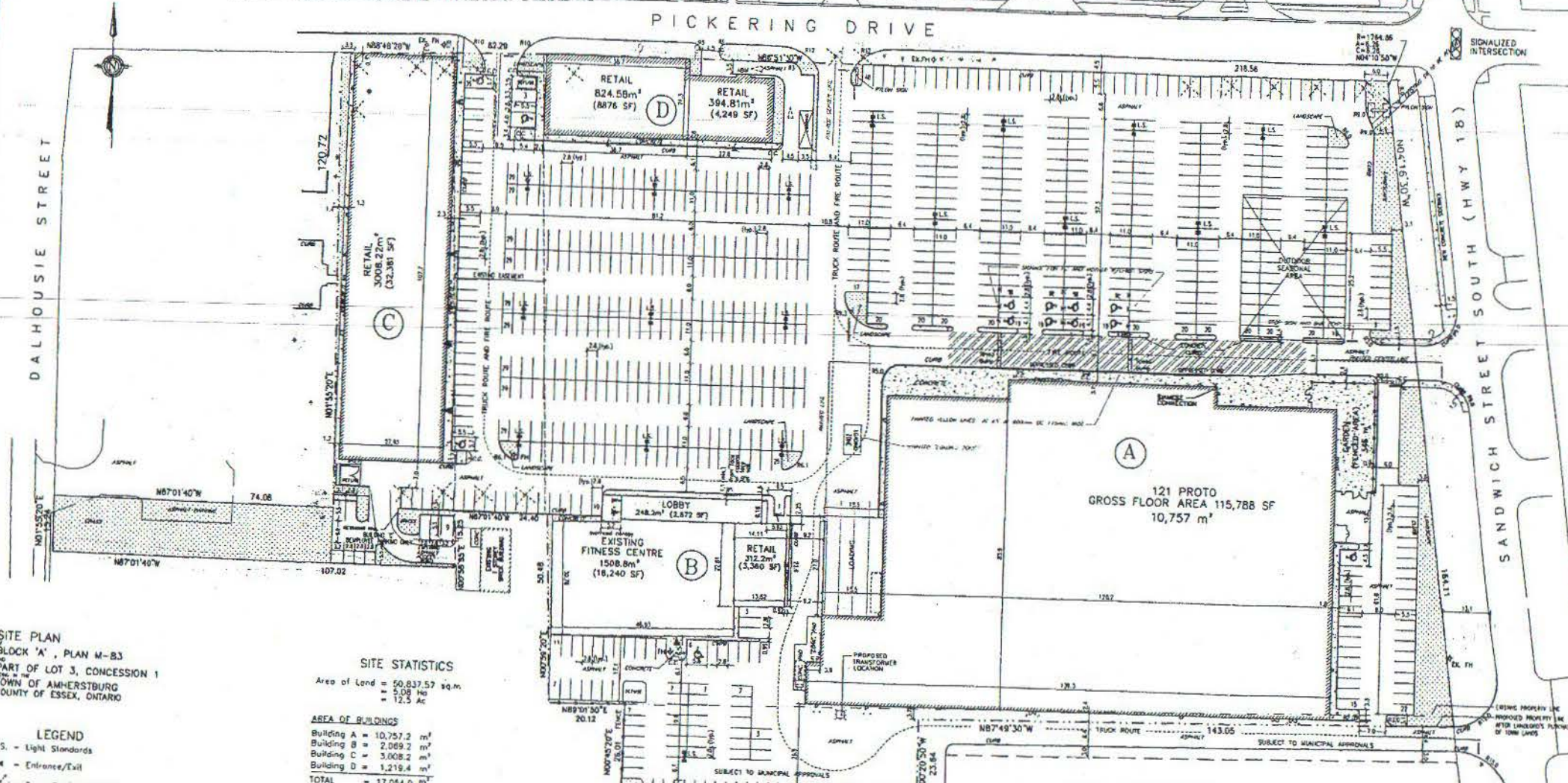
  
\_\_\_\_\_  
Joseph Mikhail

  
\_\_\_\_\_  
Louis Mikhail

**THE CORPORATION OF THE  
TOWN OF AMHERSTBURG**

  
\_\_\_\_\_  
Mayor - Wayne Hurst

  
\_\_\_\_\_  
Clerk - Pamela Malott



**SITE PLAN**  
 BLOCK 'A', PLAN M-B3  
 PART OF LOT 3, CONCESSION 1  
 TOWN OF AMHERSTBURG  
 COUNTY OF ESSEX, ONTARIO

**SITE STATISTICS**

Area of Land = 50,837.57 sq.m.  
 = 5.08 ha  
 = 12.5 Ac

**AREA OF BUILDINGS**

Building A = 10,757.2 m²  
 Building B = 2,069.2 m²  
 Building C = 3,008.2 m²  
 Building D = 1,219.4 m²  
 TOTAL = 17,054.0 m²

**LANDSCAPING**

Open Space = 4780 m²  
 Garden Centre = 346 m²  
 TOTAL = 5126 m²

Lot Coverage = 33.65%  
 Landscape Coverage = 10.06%  
 Parking Required = 563 (2.8x5.5)  
 Parking Provided = 842 (2.8x5.5)  
 Including:  
 Handicap Parking Required = 9 (3.7x5.5)  
 Handicap Parking Provided = 13 (Varies)

- LEGEND**
- ⊙ - Light Standards
  - ⬆ - Entrance/Exit
  - ✕ - Trees To Be Removed
  - ⊙ - Trees To Be Retained If Possible To Be Determined During Construction
  - CC - Indicates Curb Cut/Wheel Chair Ramp

**NOTES**

All Curbs to be 15cm Barrier curbs unless indicated otherwise.  
 Light standards locations are approximate only and location will be determined on engineer.

SCALE : 1:500 METRIC  
 0 5.0 10.0 15.0 20.0 25.0 METRES

"METRIC" DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SCHEDULE "B" TO BY-LAW 2007-88  
 131889 ONTARIO LIMITED

JOSEPH MIKHAIL  
 LOU MIKHAIL  
 TOWN OF AMHERSTBURG  
 MAYOR  
 CLERK

**hes** LIMITED  
 Consulting Engineers  
 WINDSOR, ONTARIO

NO.	REVISION	DATE	BY	SCALE
1	PROVISION TO BLOCK	08 SEP 2007	R.C.S.	1:500
2	REVISION FOR TOWN	26 OCT 2007	R.C.S.	
3	FINAL REVISIONS	06 NOV 2007	R.C.S.	

AMHERSTBURG MIKHAIL COMMERCIAL - WALMART  
 PROJECT NO. C105-1246

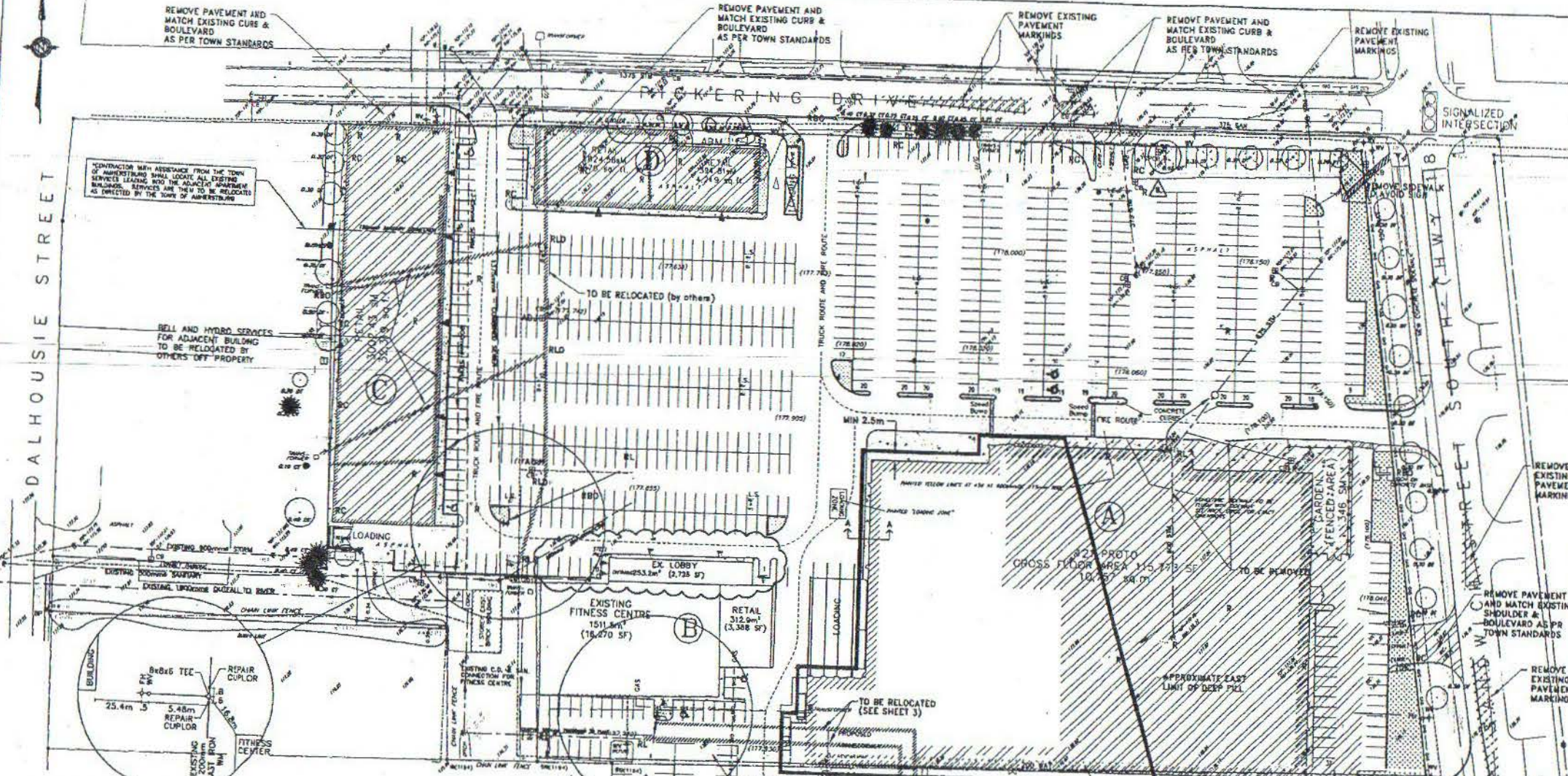
AMENDED SITE PLAN

PROJECT NO. C105-1246

DALHOUSIE STREET

PICKERING DRIVE

SOUTH HWY



CONTRACTOR WITH ASSISTANCE FROM THE TOWN OF AMHERSTBURG SHALL LOCATE ALL EXISTING UTILITIES LEADING INTO THE ADJACENT APARTMENT BUILDING. SERVICES ARE THEN TO BE RELOCATED AS DIRECTED BY THE TOWN OF AMHERSTBURG.

BELL AND HYDRO SERVICES FOR ADJACENT BUILDING TO BE RELOCATED BY OTHERS OFF PROPERTY



ADJ ADJUST TO NEW GRADE  
 RBO DENOTES REMOVAL BY OTHERS  
 R DENOTES REMOVAL  
 RL DENOTES RELOCATION  
 RLO DENOTES RELOCATION BY OTHERS  
 U DENOTES UTILITIES TO BE RELOCATED BY OTHERS  
 RC DENOTES REMOVAL BY THIS CONTRACTOR  
 C DENOTES CURBS TO BE REMOVED  
 P DENOTES PAVEMENT TO BE REMOVED  
 W DENOTES PAVEMENT MARKINGS TO BE REMOVED  
 T DENOTES TREES TO BE REMOVED  
 O DENOTES TREES TO BE RETAINED IF POSSIBLE TO BE DETERMINED DURING CONSTRUCTION

NOTE: ALL CATCHBASIN LEADS TO BE REMOVED TO OUTSIDE OF NEW BUILDINGS AND CAPPED



NOTE: 4 M POLYETHYLENE BARRIER POLYETHYLENE TO BE CERTIFICATED GRAPES WITH ALL 90° LAPS SEALED WITH BUTYL GUM TAPE. 500 LAPS TO HAVE MINIMUM OVERLAP OF 200MM.

SECTION A-A

hes LIMITED  
 Consulting Engineers  
 BRNSDR , ONTARIO

NO.	REVISION	DATE	BY	SCALE
11	ADDED POLYETHYLENE BARRIER	27 FEB 2007	R.C.S.	
8	REVISED GRADING & SITE PLAN	24 JAN 2007	R.C.S.	
5	REVISED AS PER WALKER'S COMMENTS	26 AUG 2006	R.C.S.	
4	REVISED AS PER QUANTE'S COMMENTS	11 AUG 2006	R.C.S.	
3	REVISED AS PER TOWN'S FINAL COMMENTS	04 AUG 2006	R.C.S.	
2	REVISED AS PER TOWN'S COMMENTS	24 JULY 2006	R.C.S.	
1	REVISED AS PER TOWN'S COMMENTS	04 JULY 2006	R.C.S.	

SCHEDULE "C" (9) TO BY-LAW 2007-88  
 13 8840 ONTARIO LIMITED  
 JOSEPH MIKHAIL  
 LOU MIKHAIL  
 TOWN OF AMHERSTBURG  
 Clerk

AMHERSTBURG MIKHAIL COMMERCIAL - WALMART  
 PROJECT NO. C105-1246

REMOVALS & UTILITY RELOCATIONS

NO. 1  
 OF 5

DALHOUSIE STREET

SCHEDULE "C" (ii) TO BY-LAW 2007-38  
 131860 ONYXO LIMITED  
 JOSEPH MIKHAIL  
 LOU MIKHAIL  
 TOWN OF AMHERSTBURG  
 MAYOR  
 CLERK

- NOTES**
1. PERFORM ALL WORK TO TOWN OF AMHERSTBURG STANDARDS & OBTAIN ALL PERMITS.
  2. RESTORE ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY TO TOWN OF AMHERSTBURG STANDARDS.
  3. ALL SEWERS TO BE INSTALLED WITH GRAB 'N' HOLD TO 100% S.P.D. UNDER PAVEMENT AND WITH APPROVED MANHOLE WINGS TO 40% S.P.D. ELSEWHERE.
  4. WATER SERVICE TO BE BRACED UNDER PROVISION WITH GRAB 'N' HOLD S.P.D.
  5. CONTRACTOR TO CONFIRM LOCATION OF EXISTING UTILITIES PRIOR TO PROCEEDING WITH ANY WORKS AND REPORT ANY DISCREPANCIES TO ENGINEER.
  6. SEE SHEET 1 FOR ALL REMAINS & UTILITY RELOCATES.

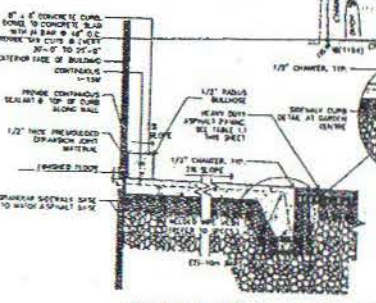


TABLE 1.1 - PAVEMENT SCHEDULE

MATERIAL	THICKNESS	NOTES
HE-3 ASPHALT (COPS 1150)	40mm	LIGHT TRAFFIC
HE-4 ASPHALT (COPS 1150)	40mm	HEAVY TRAFFIC OR DRIVEWAYS
CRANK 'N' (COPS 1010) BASE	200mm UNL. FILL AREAS	
CRANK 'N' (COPS 1010) BASE	300mm CLP AREAS	

LEGEND

CS	PROPOSED LOCATION OF NEW CATCHBASIN
CS	LOCATION OF EXISTING CATCHBASIN
L.S.T.	PROPOSED LIGHT STANDARDS (BY OTHERS)

NO.	REVISIONS	DATE	BY
18	REVISED GRADING/REVISED - BLOS ADD	3 AUG 2007	R.C.S.
19	FINAL REVISIONS	8 FEB 2007	R.C.S.
9	REVISED PER STAFFERS	9 FEB 2007	R.C.S.
8	REVISED GRADING & SITE PLAN	24 JAN 2007	R.C.S.
7	REVISED AS PER WALMART'S COMMENTS	28 AUG 2006	R.C.S.
6	REVISED AS PER WALMART'S COMMENTS	11 AUG 2006	R.C.S.
5	REVISED AS PER TOWN'S FINAL COMMENTS	11 AUG 2006	R.C.S.
4	REVISED AS PER TOWN'S COMMENTS	04 AUG 2006	R.C.S.
3	REVISED AS PER OWNER'S COMMENTS	27 JAN 2006	R.C.S.
2	REVISED AS PER OWNER'S COMMENTS	12 JAN 2006	R.C.S.
1	ISSUED TO OWNER	12 JAN 2006	R.C.S.

**hgs** LIMITED  
 Consulting Engineers  
 WINDSOR - ONTARIO

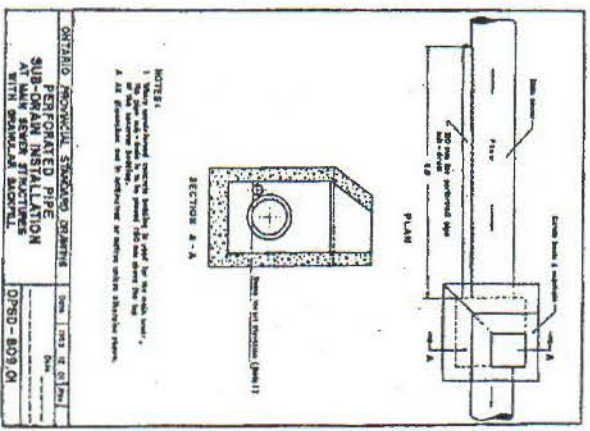
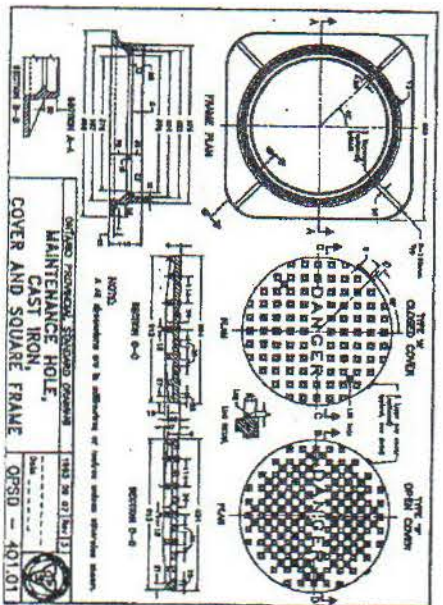
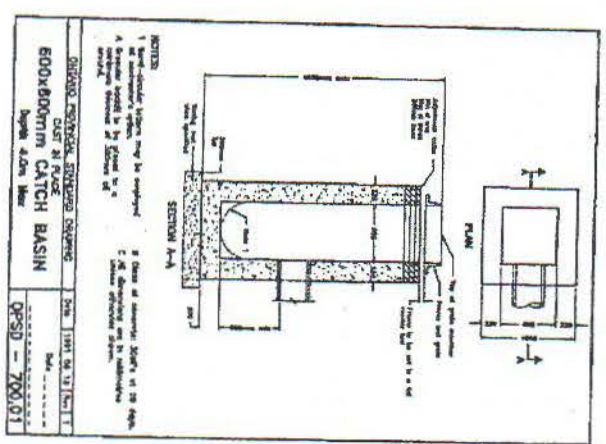
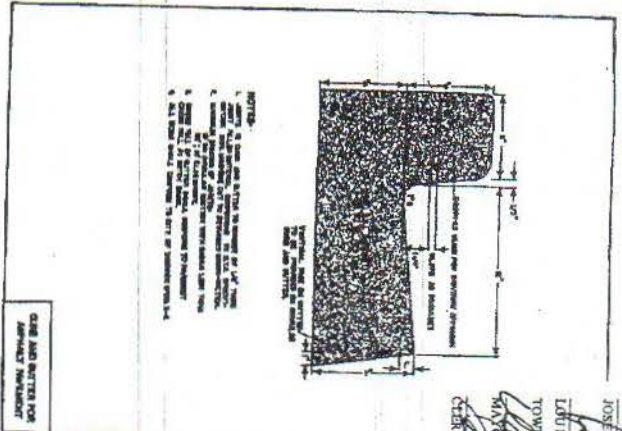
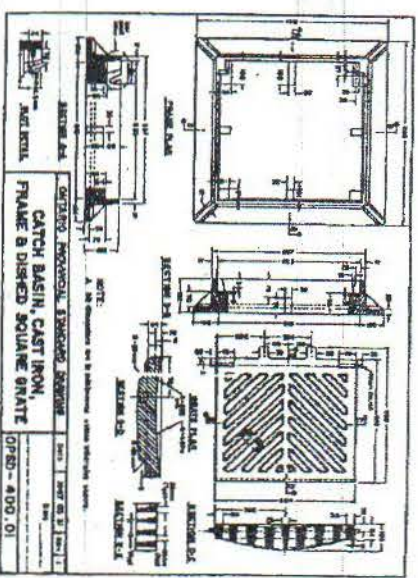
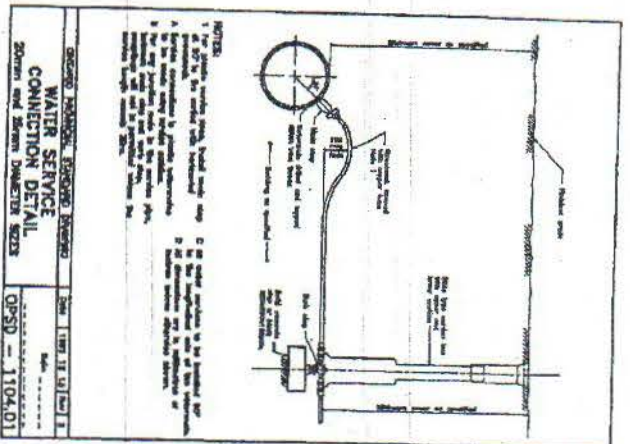
AMHERSTBURG MIKHAIL COMMERCIAL - WALMART  
 PROJECT NO. C105-1246  
 SHEET NO. 2  
**PAVING & GRADING PLAN**  
 SCALE 1:500







JOSEPH W. MICHAEL  
 LEO MICHAEL  
 TOWN OF AMHERSTBURG  
 MAYOR  
 CLERK

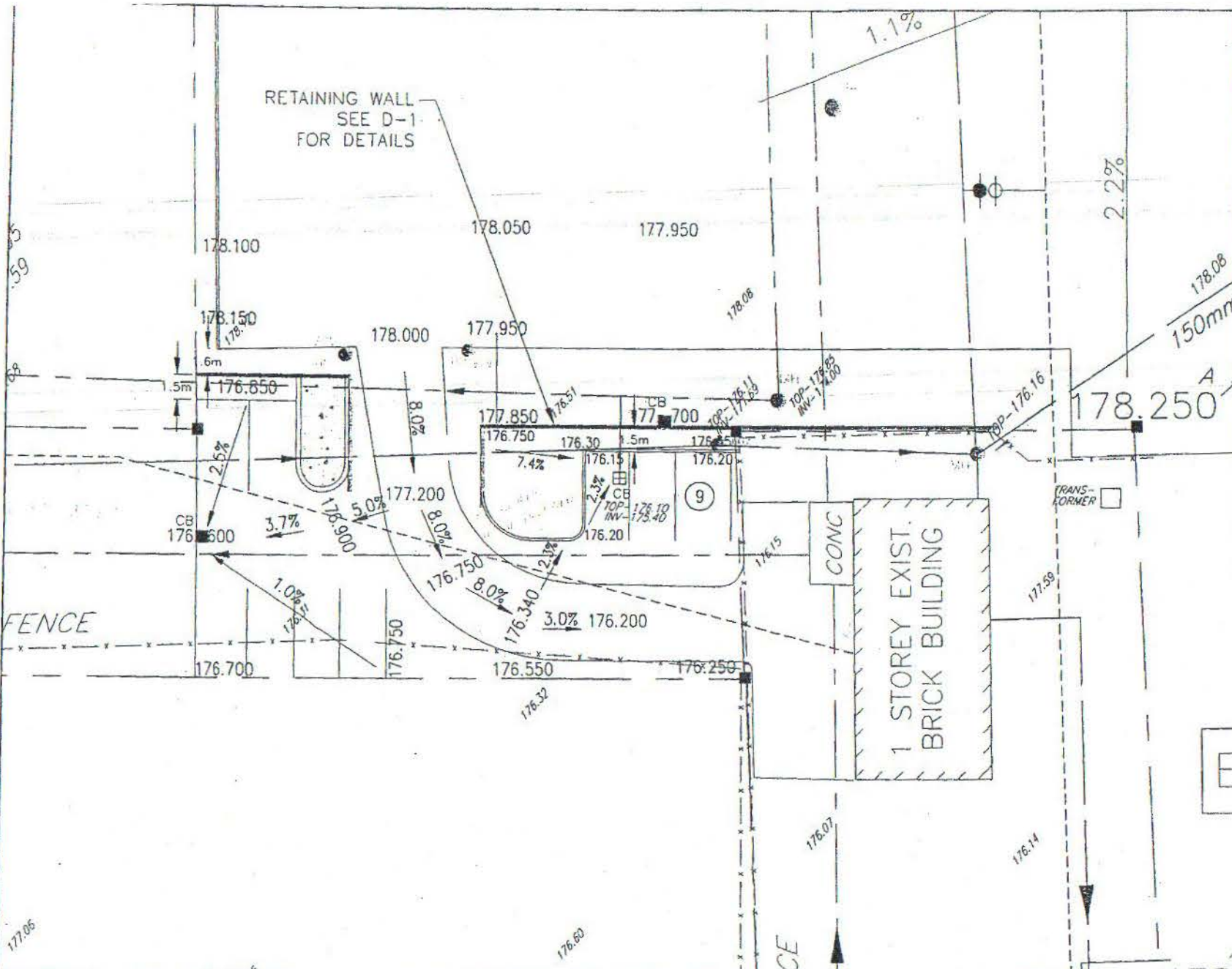


NO.	REVISION	DATE	BY	REASON
1	ISSUED AS PER SUBMITTAL COMMENTS	20 AUG 2008	J.C.S.	ISSUE
2	ISSUED AS PER SUBMITTAL COMMENTS	10 AUG 2008	J.C.S.	ISSUE
3	ISSUED AS PER SUBMITTAL COMMENTS	20 AUG 2008	J.C.S.	ISSUE
4	ISSUED AS PER SUBMITTAL COMMENTS	20 AUG 2008	J.C.S.	ISSUE
5	ISSUED AS PER SUBMITTAL COMMENTS	20 AUG 2008	J.C.S.	ISSUE

AMHERSTBURG MICHAEL COMMERCIAL - WALMART  
 SHEET NO. 5  
 PROJECT NO. C105-1246

**hcs** LIMITED  
 Consulting Engineers  
 WINDSOR, ONTARIO

Oct 26, 2:12pm 2:12pm C:\05\C105-1246\01\_FINAL\_Construction\_CAD\C105-1246-05.dwg



**NOTES**

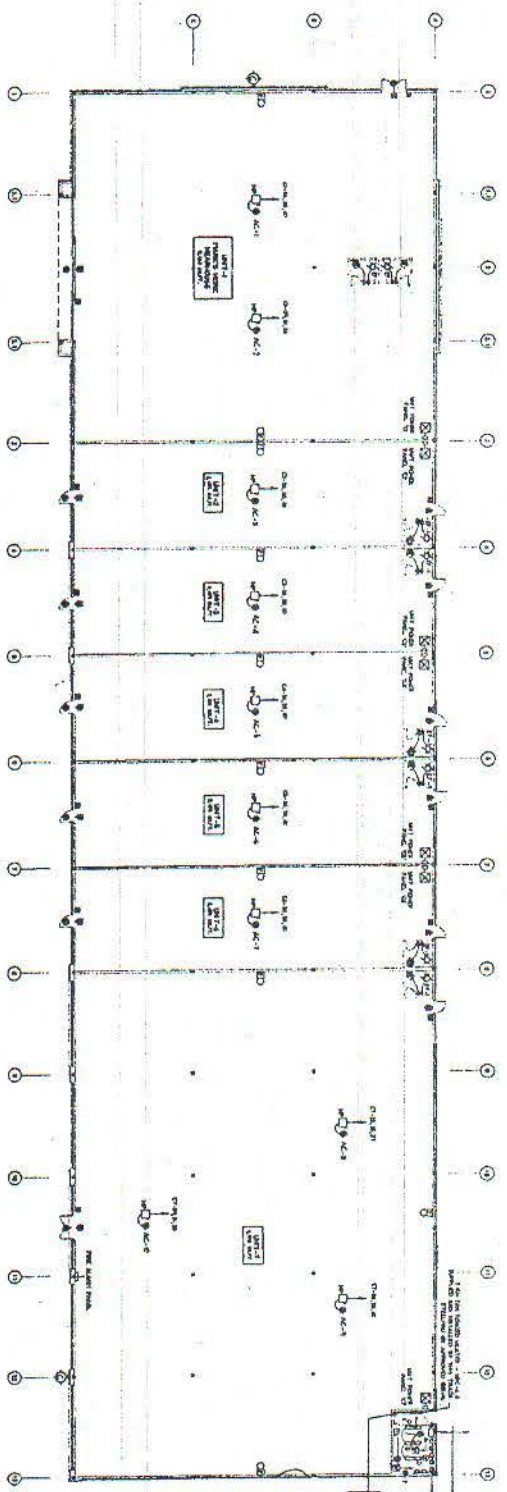
1. PERFORM ALL WORK TO TOWN OF AMHERSTBURG STANDARDS & OBTAIN ALL PERMITS.
2. RESTORE ALL DISTURBED AREAS WITHIN THE R.O.W. TO TOWN OF AMHERSTBURG STANDARDS.
3. CONTRACTOR TO CONFIRM LOCATION OF EXISTING UTILITIES PRIOR TO PROCEEDING WITH ANY WORKS AND REPORT ANY DISCREPANCIES TO ENGINEER.
4. REFERENCE HGS LIMITED CIVIL DRAWINGS C105-1246 SHEETS 1 THROUGH 5 FOR ADDITIONAL GRADES, WORKS AND DETAILS. (INCLUDING PAVEMENT DETAILS)
5. REFER TO SITE PLAN FOR REVISED PARKING LAYOUT.

SCHEDULE "C" (i) TO BY-LAW 2007-88  
 1318840 ONTARIO LIMITED  
 JOSEPH MIKHAIL  
 LOU MIKHAIL  
 TOWN OF AMHERSTBURG  
 MAYOR  
 CLERK

**hgs** LIMITED  
 Consulting Engineers  
 WINDSOR, ONTARIO

NO.	REVISION	DATE	BY	SCALE
2	REVISED AS PER ADDED PARKING SPACE	25 OCT 2007	R.C.S.	
1	SHOW ADDITIONAL PARKING	31 JULY 2007	R.C.S.	

AMHERSTBURG WALMART  
 PROJECT NO. C105-1246  
 SHEET NO. D-2



  
**BUILDING 'C'**  
**POWER PLAN (BASE BUILDING)**  
 SCALE 1/8" = 1'-0"  
 TOTAL BUILDING AREA 32,381 SQ. FT.

- ELECTRICAL SYMBOLS**
1. THE CONTRACTOR SHALL OBTAIN AND NOT FOR ALL WORKERS THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
  2. THE CONTRACTOR SHALL OBTAIN AND NOT FOR ALL WORKERS THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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  10. THE CONTRACTOR SHALL OBTAIN AND NOT FOR ALL WORKERS THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

**LABELLED ELECTRICAL SCHEDULE**

SYM	DESCRIPTION	QUANTITY	REMARKS
1	CONCRETE FLOOR	1	AS SHOWN
2	CONCRETE WALL	1	AS SHOWN
3	CONCRETE COLUMN	1	AS SHOWN
4	CONCRETE BEAM	1	AS SHOWN
5	CONCRETE SLAB	1	AS SHOWN

**REVISIONS**

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITS	JUN 3, 2007	AS SHOWN
2	ISSUED FOR PERMITS	JUN 3, 2007	AS SHOWN
3	ISSUED FOR PERMITS	JUN 3, 2007	AS SHOWN
4	ISSUED FOR PERMITS	JUN 3, 2007	AS SHOWN
5	ISSUED FOR PERMITS	JUN 3, 2007	AS SHOWN
6	ISSUED FOR PERMITS	JUN 3, 2007	AS SHOWN
7	ISSUED FOR PERMITS	JUN 3, 2007	AS SHOWN
8	ISSUED FOR PERMITS	JUN 3, 2007	AS SHOWN
9	ISSUED FOR PERMITS	JUN 3, 2007	AS SHOWN
10	ISSUED FOR PERMITS	JUN 3, 2007	AS SHOWN

**NOTES:**

1. THE CONTRACTOR SHALL OBTAIN AND NOT FOR ALL WORKERS THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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9. THE CONTRACTOR SHALL OBTAIN AND NOT FOR ALL WORKERS THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
10. THE CONTRACTOR SHALL OBTAIN AND NOT FOR ALL WORKERS THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.



401 GIL CREEK, B.S.M., AMHERSTBURG, ONTARIO, M9W 2Y4  
 PHONE: (905) 754-6400 FAX: (905) 754-6209

**DRAWING TITLE:**  
 COMMERCIAL PLAZA BUILDING 'C'  
 POWER PLAN  
 (BASE BUILDING)

**PROJECT/CLIENT:**  
 SANDWICH ST. S.4. POKERNO DR.  
 AMHERSTBURG, ONT.

**DATE ISSUED FOR:** JUN 3, 2007  
**DATE ISSUED FOR:** JUN 3, 2007

**PROJECT NO.:** 06-137  
**SCALE:** AS SHOWN  
**DRAWN BY:** ML  
**CHECKED BY:** ML

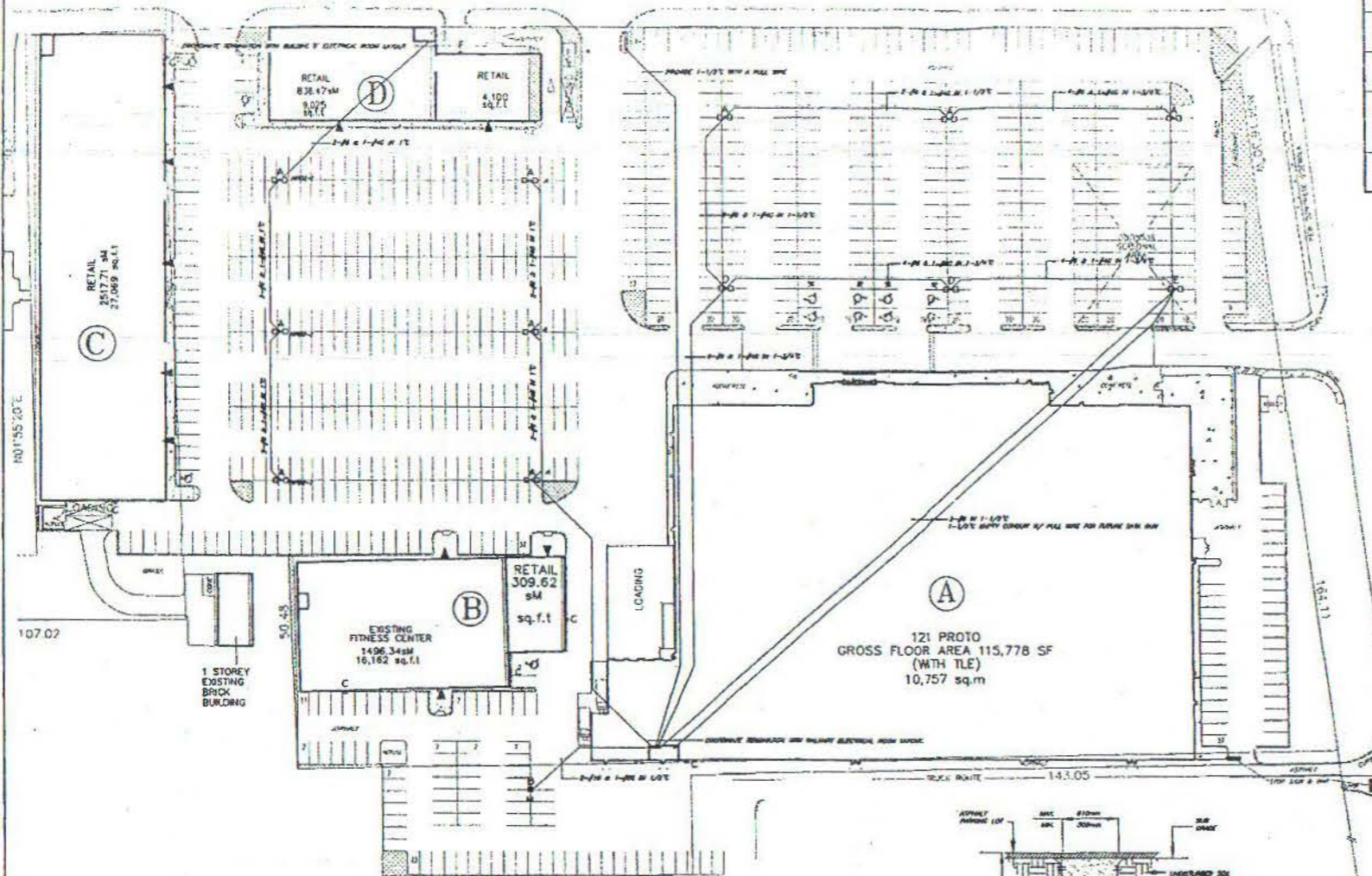
**REVISIONS:**  
 ALL REVISIONS TO BE MADE BY THE CONTRACTOR AND NOTED ON THE DRAWING. THE CONTRACTOR SHALL OBTAIN AND NOT FOR ALL WORKERS THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.



**NOTES:**  
 1. THE CONTRACTOR SHALL OBTAIN AND NOT FOR ALL WORKERS THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
- 2. THE CONTRACTOR SHALL OBTAIN AND NOT FOR ALL WORKERS THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
- 3. THE CONTRACTOR SHALL OBTAIN AND NOT FOR ALL WORKERS THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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- 9. THE CONTRACTOR SHALL OBTAIN AND NOT FOR ALL WORKERS THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
- 10. THE CONTRACTOR SHALL OBTAIN AND NOT FOR ALL WORKERS THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

**DRAWING NO.:**  
**E-2**

RICKER RD W



SITE LIGHTING PLAN



SCHEDULE 7 TO BY-LAW 2007-88  
133840 ONTARIO LIMITED

JOSEPH MIKHAIL

LOU MINIALI  
TOWN OF AMHERSTBURG  
MAYOR

CLERK

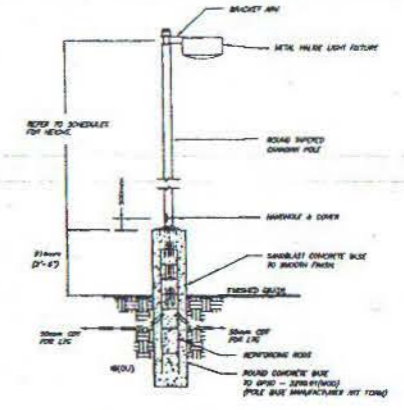
**CRAFT**  
ENGINEERING LIMITED  
AMHERSTBURG, ONTARIO  
PHONE: (549) 796-4400 FAX: (549) 796-3079

NO.	REVISION	DATE	BY	SCALE
1	REMOVED	07/01/21	WM	1:800
2	REMOVED	06/21/20	MM	1:800

AMHERSTBURG WALMART  
SITE LIGHTING PLAN

PROJECT NO. 06-431  
SHEET NO. ESL-1  
1 of 1

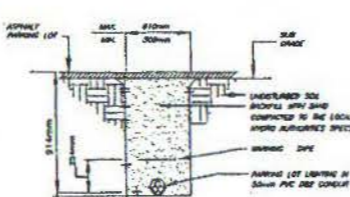
TYPE	DESCRIPTION	LUMENS	FOOTCANDLES	INSTALLMENT
A	POW TOP WARM WHITE (HIGH PERFORMANCE VERTICAL) 60000 (W70-3-10V) 60000-3-10V-100	2,000 WATT PALE STRAIT 10'	PALE POINTED 0.2 METERS 2.7'	DOUBLE
B	POW TOP WARM WHITE (HIGH PERFORMANCE VERTICAL) 60000 (W70-3-10V) 60000-3-10V-100	600 WATT PALE STRAIT 10'	PALE POINTED 0.2 METERS 2.7'	SINGLE
C	WFE 48151 48151-100-100	60 WATT 10'	PALE POINTED 0.2 METERS 2.7'	SINGLE
D	POW TOP WARM WHITE (HIGH PERFORMANCE VERTICAL) 60000 (W70-3-10V) 60000-3-10V-100 RECESSED FLUO 60000 (W70-3-10V) 60000-3-10V-100 RELATED 1 PETER 2.7' 0.2 METERS 2.7' PALE WITH CLUSTO BRACKET	3,000 WATT PALE STRAIT 10'	PALE POINTED 0.2 METERS 2.7'	DOUBLE
E	POW TOP WARM WHITE (HIGH PERFORMANCE VERTICAL) 60000 (W70-3-10V) 60000-3-10V-100 RECESSED FLUO 60000 (W70-3-10V) 60000-3-10V-100 RELATED 1 PETER 2.7' 0.2 METERS 2.7' PALE WITH CLUSTO BRACKET CAN FLUO POINTED 20 VOLTS OF RECEPTABLE, TELEPHONE AND DATA OUTLETS.	2,000 WATT PALE STRAIT 10'	PALE POINTED 0.2 METERS 2.7'	DOUBLE
F	HYPERTRITE 48151-100-100	70 WATT 10'	PALE POINTED 0.2 METERS 2.7'	SINGLE



PARKING LOT LIGHTING DETAIL

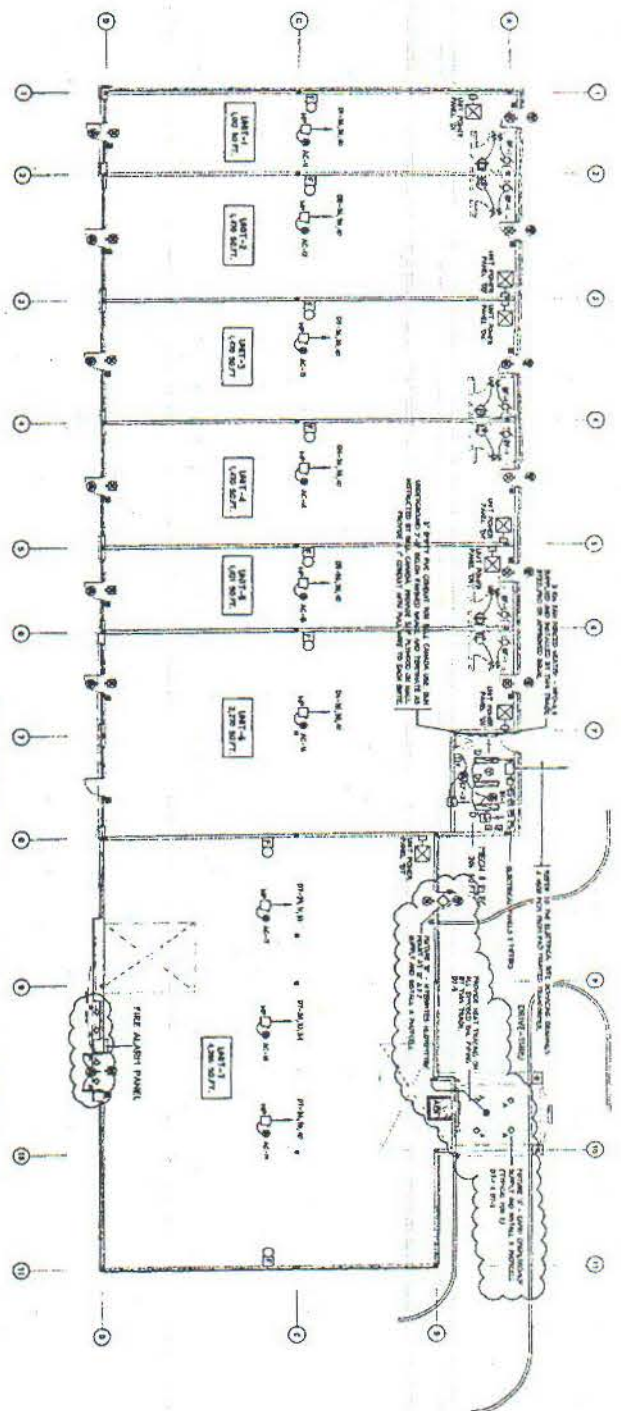
GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE DRAWING ELECTRICAL SYMBOLS CODE LATEST EDITION AND LOCAL AMERICAN STANDARDS.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE DRAWING ELECTRICAL SYMBOLS CODE LATEST EDITION AND LOCAL AMERICAN STANDARDS.
3. PROVIDE ALL MATERIALS AND EQUIPMENT, LABELS AND ROLLS, CONTRACT AMOUNTS, SUPERVISION, COORDINATION, INSPECTION AND CHECK OTHER WORK NECESSARY FOR THE PROPER AND COMPLETE EXECUTION OF THE WORK OF THIS CONTRACT AS SHOWN OR AS OTHERWISE SPECIFIED IN THE DRAWINGS AND SPECIFICATIONS.
4. PROVIDE ALL MATERIALS AND EQUIPMENT, LABELS AND ROLLS, CONTRACT AMOUNTS, SUPERVISION, COORDINATION, INSPECTION AND CHECK OTHER WORK NECESSARY FOR THE PROPER AND COMPLETE EXECUTION OF THE WORK OF THIS CONTRACT AS SHOWN OR AS OTHERWISE SPECIFIED IN THE DRAWINGS AND SPECIFICATIONS.
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TYPICAL PARKING LOT LIGHTING SUPPLY





  
**BUILDING 'D'**  
**PLUMBING PLAN (BASE BUILDING)**  
 SCALE 3/32" = 1'-0"  
 TOTAL BUILDING AREA: 13,210 SQ. FT.

**ELECTRICAL SPECIFICATIONS**

1. THE CONTRACTOR SHALL VERIFY AND VERIFY THE ALL ELECTRICAL AND MECHANICAL SPECIFICATIONS SHALL BE AS SHOWN ON THE ELECTRICAL AND MECHANICAL DRAWINGS.
2. ALL ELECTRICAL MATERIAL SHALL BE LISTED BY THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) AND APPROVED BY THE LOCAL ELECTRICAL CONTRACTORS ASSOCIATION.
3. THE CONTRACTOR SHALL VERIFY THE ALL ELECTRICAL MATERIAL SHALL BE LISTED BY THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) AND APPROVED BY THE LOCAL ELECTRICAL CONTRACTORS ASSOCIATION.
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**LEGEND: ELECTRICAL SYMBOLS**

TYPE	SYMBOL	LETTER	DESCRIPTION
1		1/2"	1/2" CONDUIT
2		1/2"	1/2" EMT
3		1/2"	1/2" RIGID CONDUIT
4		1/2"	1/2" FLEXIBLE CONDUIT

NOTE: 1. CONTRACTOR SHALL VERIFY THE ALL ELECTRICAL AND MECHANICAL SPECIFICATIONS SHALL BE AS SHOWN ON THE ELECTRICAL AND MECHANICAL DRAWINGS.  
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

**NOTICE: ELECTRICAL SYMBOLS**

SYMBOL	LETTER	DESCRIPTION
	1/2"	1/2" CONDUIT
	1/2"	1/2" EMT
	1/2"	1/2" RIGID CONDUIT
	1/2"	1/2" FLEXIBLE CONDUIT

**ELECTRICAL LEGEND**

SYMBOL	DESCRIPTION	LETTER	DESCRIPTION
	1/2" CONDUIT	1/2"	1/2" CONDUIT
	1/2" EMT	1/2"	1/2" EMT
	1/2" RIGID CONDUIT	1/2"	1/2" RIGID CONDUIT
	1/2" FLEXIBLE CONDUIT	1/2"	1/2" FLEXIBLE CONDUIT

DRAWING NO. 2007-48  
 11888-01-01  
 JOSEPH P. BENTLEY  
 LICENSED PROFESSIONAL ENGINEER  
 LICENSE NO. 11888-01-01  
 TOWN OF AMHERSTBURG  
 AMHERSTBURG, OHIO  
 11/11/07



**FIELD CRAFT**  
**ENGINEERING LIMITED**  
 1000 10th Ave. S.W., Grand Rapids, Michigan 49503  
 PHONE: (616) 724-4000 FAX: (616) 724-4009

**DRAWING TITLE:**  
 COMMERCIAL PLAZA BUILDING 'D'  
 POWER PLAN  
 (BASE BUILDING)

**DATE ISSUED FOR:** DATE ISSUED FOR:  
 APR 2, 2007 2007  
 JAN 3, 2007 CONSTRUCTION

**PROJECT NO.:** 06-417  
**SCALE:** AS SHOWN  
**DRAWN BY:** BM  
**CHECKED BY:** JMK

**SPECIAL NOTES:**  
 ALL WORK SHALL BE IN ACCORDANCE WITH THE 2007 NATIONAL ELECTRICAL CODE (NEC) AND THE 2007 INTERNATIONAL PLUMBING CODE (IPC). THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

**DATE:** 11/11/07  
**BY:** JOSEPH P. BENTLEY  
**TITLE:** LICENSED PROFESSIONAL ENGINEER

**DATE:** 11/11/07  
**BY:** JOSEPH P. BENTLEY  
**TITLE:** LICENSED PROFESSIONAL ENGINEER

**DATE:** 11/11/07  
**BY:** JOSEPH P. BENTLEY  
**TITLE:** LICENSED PROFESSIONAL ENGINEER

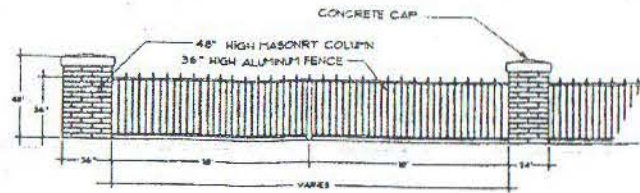
**DRAWING NO.:**  
**E-4**





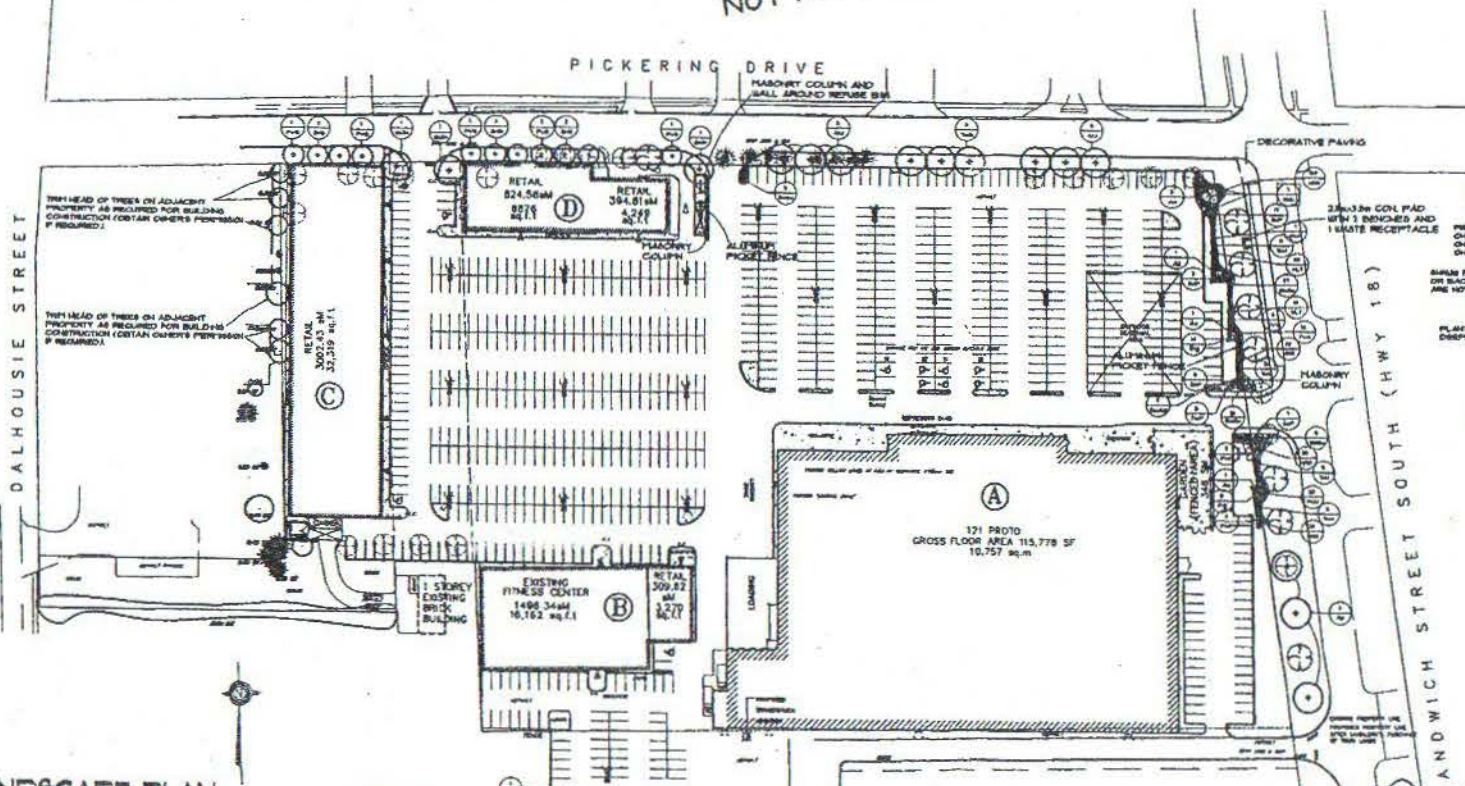
**Plant List**

KEY BOTANICAL NAME	COMMON NAME	SIZE	ROOT QUAN
<b>DECIDUOUS TREES</b>			
A17 ACER FRIEDRIANI 'JEFFERSON'	ALBURN BLAZE MAPLE	70 mm	US 6
A18 ACER PLATANOIDES	NORWAY MAPLE	60 mm	US 3
G15B QILESTIA TRICANTIOS 'SHADEMASTER'	SHADEMASTER MONEY-LOGSUT	70 mm	US 4
P14 PRUNUS VIRGINIANA 'SALBERT'	SALBERT CHERRY	60 mm	US 4
B15 SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	60 mm	US 4
T62 TILIA CORDATA 'GREENSPHERE'	GREENSPHERE LINDEN	70 mm	US 4
<b>TREE STANDARDS/SPECIMEN SHRUBS</b>			
A4 ANELANCHER ALNFOLIA	BASKATOON SERVICEBERRY	100 cm	US 4
<b>DECIDUOUS SHRUBS</b>			
D8 DEUTZIA GRACILIS	SLINDER DEUTZIA	80 cm	POT 26
BE14 SPIRAEA SP. PALIDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	80 cm	POT 30
BE15 SPIRAEA SP. PALIDA 'GOLDMOUND'	GOLDMOUND SPIREA	80 cm	POT 30
SH1 STENOBA 'METER' FALISIN'	FALISIN DEWAR LILAC	80 cm	POT 40
<b>EVERGREENS</b>			
P17 PARS HUGO 'FURLO'	FURLO DWARF FISHPINE	40 cm	POT 21
T14 TAXUS MEDIA 'MILL'	MILL'S YEW	30 cm	POT 25
<b>PERENNIALS/ORNAMENTAL GRASS</b>			
H14 HIERACIUM 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	3 qt	POT 22
H17 HIERACIUM 'LAVENDER TONIC'	LAVENDER TONIC DAYLILY	3 qt	POT 36
M15 MOSTA 'ROYAL STANDARD'	ROYAL STANDARD PLANTAIN LILY	3 qt	POT 45
P14 PENNETHUM ALOPECUROIDES 'NARBY'	NARBY FOUNTAIN GRASS	3 qt	POT 45
<b>BOULDERS</b>			
B11 BAKERTON LIFESTONE		1000 lb	1



Masonry/Aluminum Fence Section SCALE: NTS

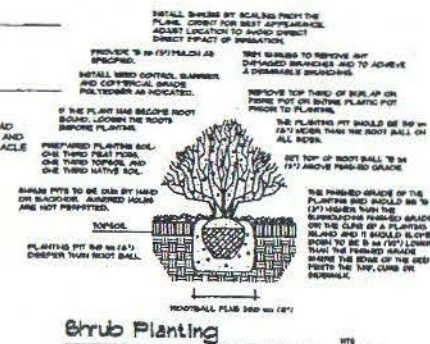
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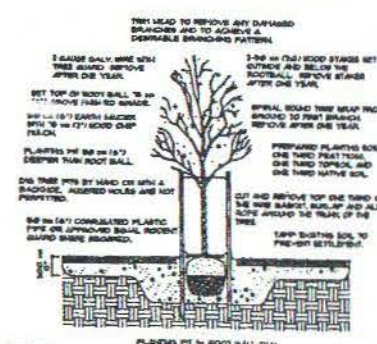
LANDSCAPE PLAN SCALE: 1:150

**Legend**

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING CURB TO BE REMOVED
- PROPOSED TREE
- QUANTITY OF PLANTS KEY TO BOTANICAL NAME
- QUANTITY OF BOULDERS, TYPE OF BOULDER
- E.L.S. - Light Standards
- ← Entrance/Exit
- C.C. - Indicates Curb Cut



Shrub Planting



Deciduous Tree Planting

**Beaire & Associates**  
Landscape Architects/Planners  
304 MILLIKEN RD. UNIT 4  
MIDLAND ONTARIO  
M5B 1S6  
(519) 866-4644  
(416) 466-1888

DESIGNED BY: [Signature]

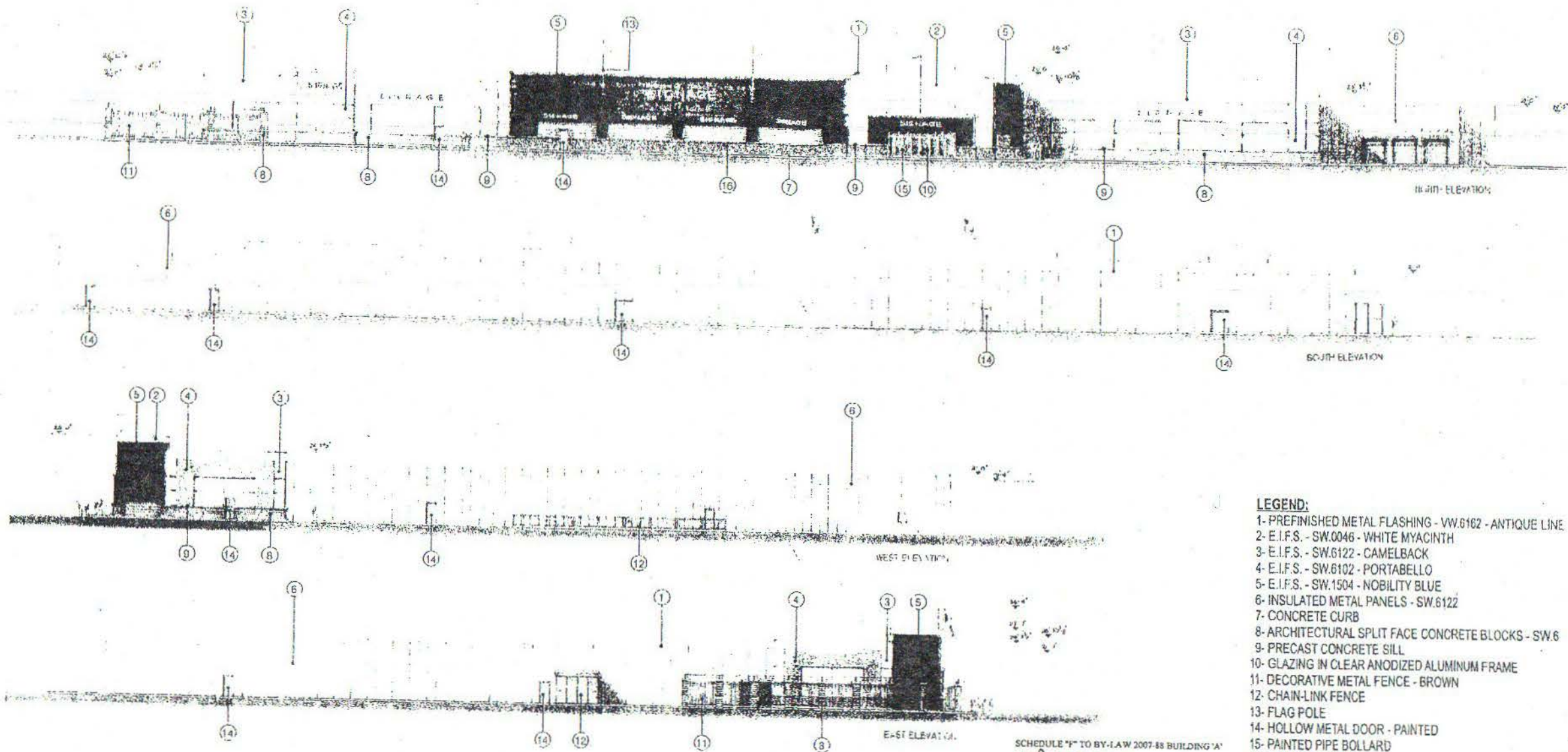
DATE: JULY 2006

DRAWING NO: LA-1

DET. FILE NO. 180

SCHEDULE "E" TO BY-LAW 2007-88  
1318440 ONTARIO LIMITED  
JOSEPH M. HALL  
LOU MCGILL

TOWN OF AMHERSTBURG  
MAYOR [Signature]  
CLERK [Signature]



- LEGEND:**
- 1- PREFINISHED METAL FLASHING - VW.6162 - ANTIQUE LINE
  - 2- E.I.F.S. - SW.0046 - WHITE MYACINTH
  - 3- E.I.F.S. - SW.6122 - CAMELBACK
  - 4- E.I.F.S. - SW.6102 - PORTABELLO
  - 5- E.I.F.S. - SW.1504 - NOBILITY BLUE
  - 6- INSULATED METAL PANELS - SW.6122
  - 7- CONCRETE CURB
  - 8- ARCHITECTURAL SPLIT FACE CONCRETE BLOCKS - SW.6
  - 9- PRECAST CONCRETE SILL
  - 10- GLAZING IN CLEAR ANODIZED ALUMINUM FRAME
  - 11- DECORATIVE METAL FENCE - BROWN
  - 12- CHAIN-LINK FENCE
  - 13- FLAG POLE
  - 14- HOLLOW METAL DOOR - PAINTED
  - 15- PAINTED PIPE BOLLARD
  - 16- CULTURE STONE

SCHEDULE "F" TO BY-LAW 2007-88 BUILDING 'A'  
 131881 ONTARIO LIMITED  
 JOSEPH MCKINLEY  
 LOU MCKINLEY  
 TOWN OF AMHERSTBURG  
 Mayor

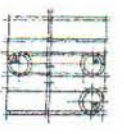
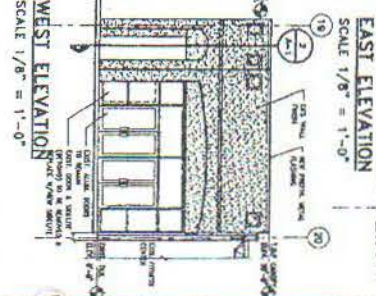
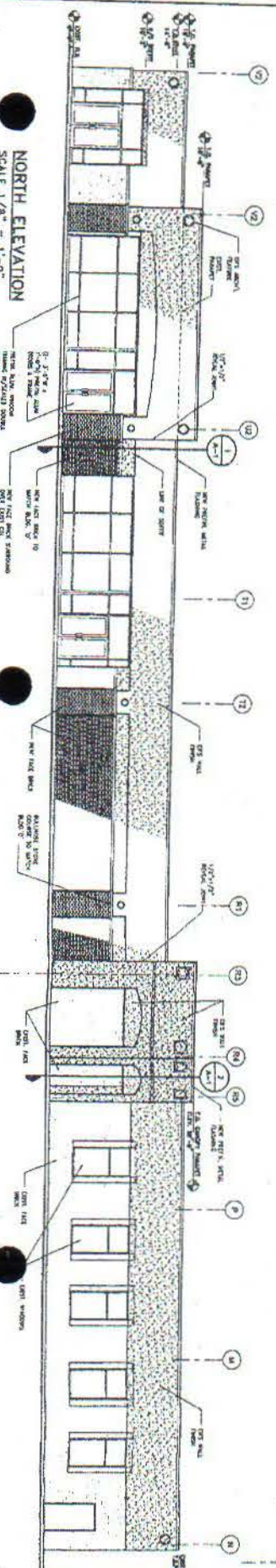
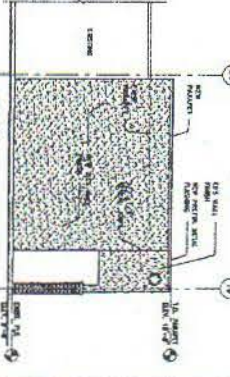
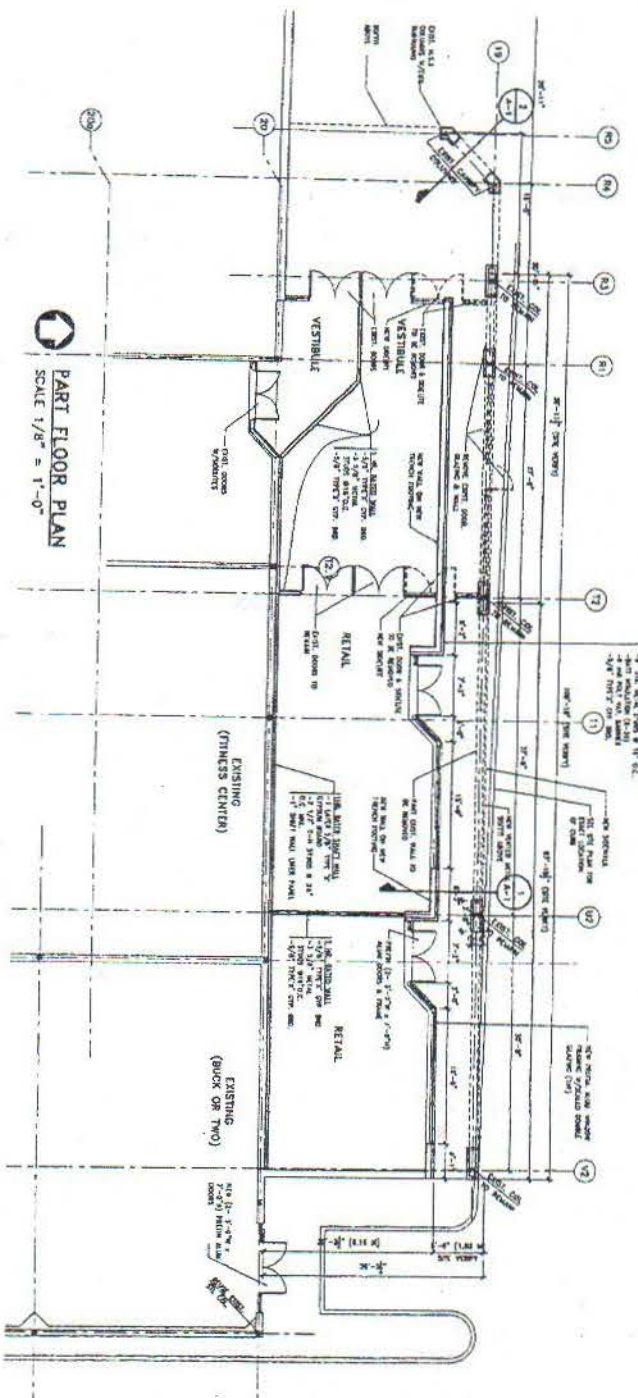
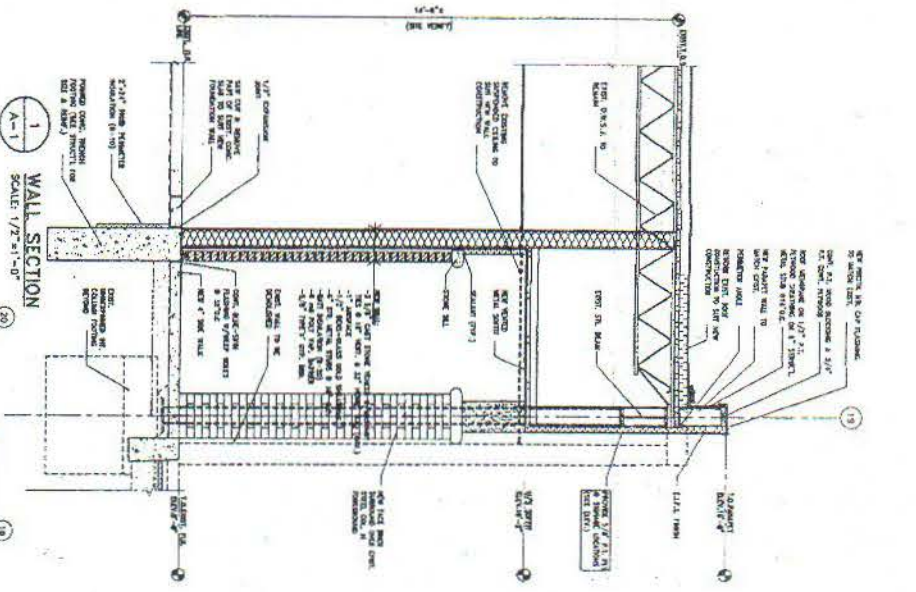
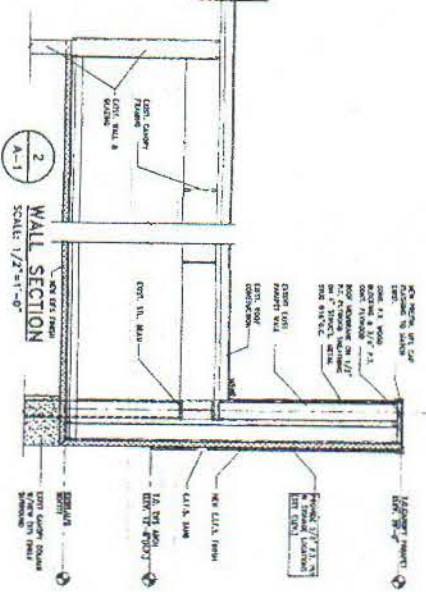
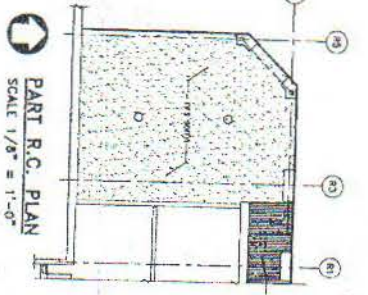
WAL-MART

COMMERCIAL DEVELOPMENT  
 AMHERSTBURG ONTARIO  
 BUILDING A ELEVATIONS  
 REVISED 08/08/08

131881

SCHEDULE 'B' TO BY-LAW 2007-88 BUILDING BY  
1318440 ONTARIO LIMITED

JOSEPH M. MATHIAS  
LOU MATHIAS  
TOWN OF AMHERSTBERG  
MAYOR  
CLERK



HANNA GHOBIAL  
AND ASSOCIATES LTD.  
ARCHITECTS  
1110 Dundas Street West  
Toronto, Ontario M6J 1K5  
(416) 593-1111 FAX: (416) 593-1112

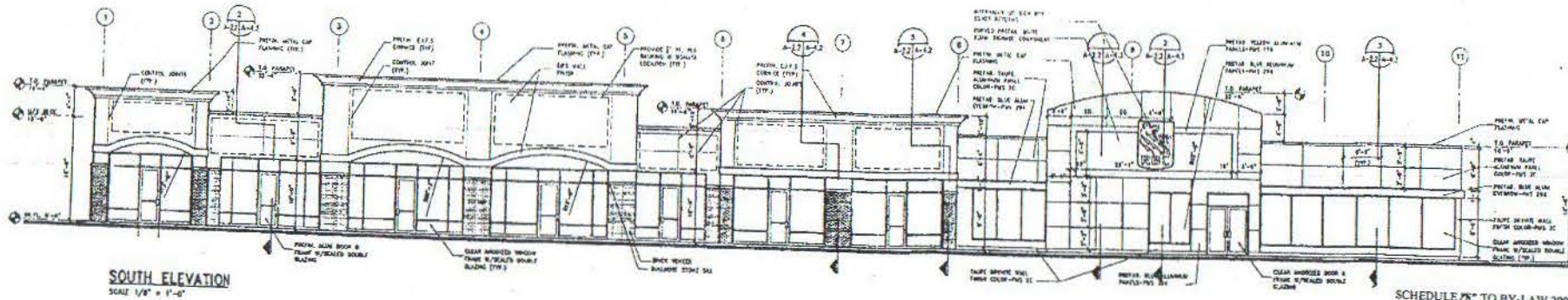
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Amherstburg, Ontario

Drawing Title: LOBBY RENOVATION

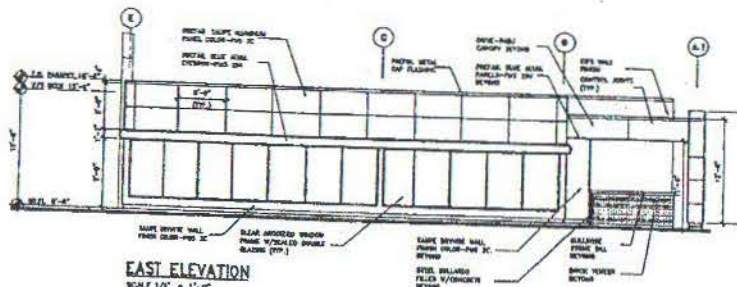
Date: OCT. 2007  
Scale: AS SHOWN  
Drawn By: SP  
Checked By: P.C.  
Project No.: 06-2061

A-1

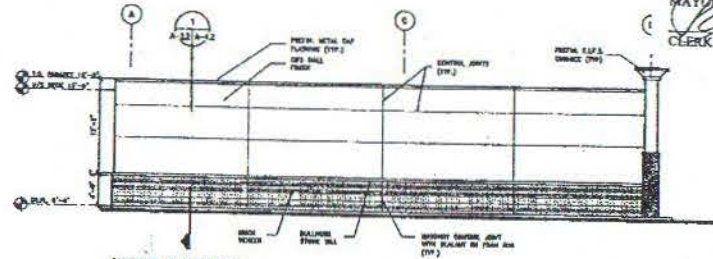




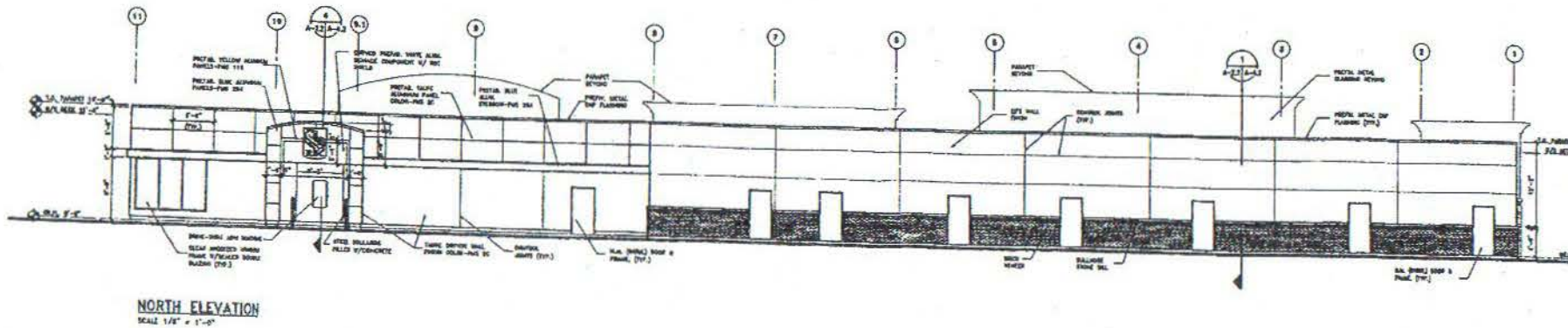
**SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE 1/8" = 1'-0"

**VIJAY VASANTGADKAR**  
ARCHITECT  
3100 Temple Drive, Unit #3  
Richmond Hill, ON L4B 1N2  
Tel: (905) 889-1852

SCHEDULE "A" TO BY-LAW 2007-88 BUILDING 'D'  
1318840 ONTARIO LIMITED

JOSEPH AMERSON  
LOU MERTAL  
TOWN OF AMHERSTBURG  
MAYOR  
CLERK

DATE	DESCRIPTION
OCT. 04/08	PERMIT
SEP. 27/08	REVISION
JULY 27/08	REVISION
JULY 21/08	CLERK REVIEW
DATE	ISSUED FOR

A DETAIL NUMBER  
B LOCATION SHEET  
C DETAIL SHEET

Project:  
**COMMERCIAL PLAZA  
SANDWICH ST. S.  
& PICKERING DR.**

AMHERSTBURG, ONTARIO  
Drawing Title:  
**ELEVATIONS  
BUILDING 'D'**

Date: **JUNE 2008**  
Scale: **AS SHOWN**  
Drawn By: **LY/S.P.**  
Checked By: **L.S.V./V.**  
Project No.: **06-1581**

Drawing No.:  
**A-2.2**

The applicant(s) hereby applies to the Land Registrar.

yyyy mm dd Page 1 of 22

**Properties**

70566 - 0058 LT

**Description** PCL 3-18 SEC AMHERSTBURG-1; PT LT 3 CON 1 PTS 1 & 2 12R2926 PT 2 12R2927  
PTS 2, 3, & 4 12R4482 PTS 2, 3, & 4 12R6389 S/T PT FARM LT 3 CON 1 PT 4 12R4482  
IN FAVOUR OF PT FARM LT 3 CON 1 PTS 5 & 6 12R4482 AS IN LT41756;  
AMHERSTBURG; S/T EASE OVER PTS 2 & 3, PL 12R22941 AS IN CE265500; S/T  
EASEMENT AS IN CE300558

**Address** 400 SANDWICH ST.S.  
AMHERSTBURG

PIN 70566 - 0059 LT

**Description** PCL BLOCK A-1 SEC M83; BLK A PL M83 PTS 1 TO 7 12R7447; AMHERSTBURG; S/T  
EASE IN GROSS OVER PTS 1 & 2, PL 12R2926 AS IN CE2495 29, S/T R356082 & S/T  
PARTIAL EASE AS IN CE255258; AMHERSTBURG

**Address** AMHERSTBURG

**Consideration**

Consideration \$ 0.00

**Applicant(s)**

The notice is based on or affects a valid and existing estate, right, interest or equity in land

**Name** THE CORPORATION OF THE TOWN OF AMHERSTBURG

**Address for Service** 271 Sandwich St. S.  
Amherstburg, Ontario  
N9V 2A5

I, Lory Bratt, AMCT, Planning Coordinator, have the authority to bind the corporation.

This document is not authorized under Power of Attorney by this party.

**Party To(s)**

Capacity

Share

**Name** MIKHAIL HOLDINGS LIMITED

**Address for Service** 33 University Ave. W.  
Suite 400  
Windsor, Ontario  
N9A 5N8

I, Joseph Mikhail, Pres. and Louis Mikhail, Vice-Pres., have the authority to bind the corporation

This document is not authorized under Power of Attorney by this party.

**Statements**

This notice is for an indeterminate period

Schedule: See Schedules

This document relates to registration no.(s)CE238591, R1545848. CE261503,

**Signed By**

Armando Felice Antonio DeLuca

500-251 Goyeau Street  
Windsor  
N9A 6V2acting for  
Applicant(s)

Signed 2007 12 19

Tel 519-258-0615

Fax 5192586833

**Submitted By**

MOUSSEAU DELUCA MCPHERSON PRINCE

500-251 Goyeau Street  
Windsor  
N9A 6V2

2007 12 19

Tel 519-258-0615

Fax 5192586833

The applicant(s) hereby applies to the Land Registrar.

**Fees/Taxes/Payment**

Mandatory Registration Fee	\$60.00
Total Paid	\$60.00