

THE CORPORATION OF THE TOWN OF AMHERSTBURG

BY-LAW NO. 2007-63

**A by-law to authorize the signing of a
Development Agreement.**

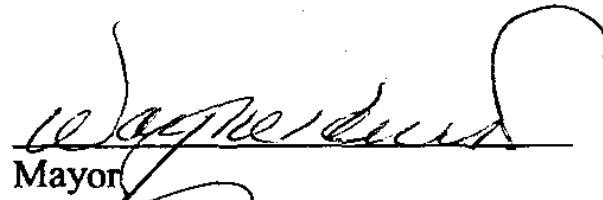
WHEREAS Boblo Developments Inc. has proposed the development of property being Part of Bois Blanc Island (Boblo Island) for the development of a Yacht Club and accessory uses.

AND WHEREAS the Council of the Town of Amherstburg and Owners of the said property have agreed to the terms and conditions of a Development Agreement in the form annexed hereto;

**NOW THEREFORE THE COUNCIL OF THE CORPORATION OF
TOWN OF AMHERSTBURG HEREBY ENACTS AS FOLLOWS:**

1. That the Mayor and Clerk be and they are hereby authorized to execute the original and copies of a Development Agreement in the form annexed hereto and affix the Corporate Seal thereto.
2. This By-law shall come into force and effect on the date of final passage hereof.

Read a first, second and third time and finally passed this 24th day of September, 2007.



Mayor



Clerk

Certified to be a true copy of
By-law 2007-63 passed by
Amherstburg Municipal Council
on September 24, 2007.

TOWN OF AMHERSTBURG

DEVELOPMENT AGREEMENT

BETWEEN:

BOBLO DEVELOPMENTS INC.

-AND-

THE CORPORATION OF THE TOWN OF AMHERSTBURG

DEVELOPMENT AGREEMENT

Registered _____, 2007.

THIS AGREEMENT made in triplicate this 24th day of September, 2007.

BETWEEN: BOBLO DEVELOPMENTS INC.

hereinafter called the "OWNER"
OF THE FIRST PART

-and-

THE CORPORATION OF THE TOWN
OF AMHERSTBURG

hereinafter called the "CORPORATION"
OF THE SECOND PART

WHEREAS the lands affected by this Agreement are described in Schedule "A" attached hereto, and are hereinafter referred to as the "said lands";

AND WHEREAS the Owner warrants it is the registered owner of the said lands;

AND WHEREAS, in this Agreement the "Owner" includes an individual, an association, a partnership or corporation and, wherever the singular is used therein it shall be construed as including the plural;

AND WHEREAS the Official Plan in effect in Amherstburg designated parts of the area covered by the Official Plan as a Site Plan Control area;

AND WHEREAS the Owner intends to develop or redevelop the said lands for a Yacht Club and accessory uses in accordance with the Site Plan attached hereto as Schedule "B", and hereinafter referred to as the "Site Plan";

AND WHEREAS the Corporation as a condition of development or redevelopment of the said lands requires the Owner to enter into a Development Agreement;

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of other goods and valuable consideration and the sum of FIVE (\$5.00) DOLLARS of lawful money of Canada, now paid by each of the parties hereto (the receipt of which is hereby acknowledged) the Owner hereby covenants and agrees with the Corporation as follows:

1. The following Schedules, which are identified by the signatures of the parties to this Agreement, and which are attached hereto, are hereby made a part of this Agreement as fully and to all intents and purposes as though recited in full herein:

SCHEDULE "A" – Legal description of the said lands
SCHEDULE "B" – Site Plan
SCHEDULE "C-1" – Parking Lot Layout and Materials Plan
SCHEDULE "C-2" – Pool and Patio Layout and Materials Plan

SCHEDULE "D-1" – Parking Lot Planting Plan
SCHEDULE "D-2" – Pool and Patio Planting Plan
SCHEDULE "E-1" – Site Notes
SCHEDULE "E-2" – Servicing Plan
SCHEDULE "E-3" – Grading Plan
SCHEDULE "E-4" – Sedimentation Control Plan
SCHEDULE "E-5" – Site Details
SCHEDULE "F" – Elevation Drawings

2. Schedule "A" hereto describes the lands affected by this Agreement.
3. Schedule "B" hereto shows:
 - (a) The location of all buildings and structures to be erected;
 - (b) The location and provision of off street vehicular loading and parking facilities and access driveways including driveways for emergency vehicles;
 - (c) Walkways and all other means of pedestrian access;
 - (d) The location and provision for the collection and storage of garbage and other waste materials.
4. Schedule "C" hereto shows:
 - (a) Schedule "C-1" – Parking Lot Layout and Materials Plan
 - (b) Schedule "C-2" – Pool and Patio Layout and Materials Plan
5. Schedule "D" hereto shows:
 - (a) Schedule "D-1" – Parking Lot Planting Plan
 - (b) Schedule "D-2" – Pool and Patio Planting Plan
6. Schedule "E" hereto shows:
 - (a) Schedule "E-1" – Site Notes
 - (b) Schedule "E-2" – Servicing Plan
 - (c) Schedule "E-3" – Grading
 - (d) Schedule "E-4" – Sedimentation Control Plan
 - (e) Schedule "E-5" – Site Details
7. Schedule "F" hereto shows:
 - (a) Elevation Drawings
8. The Owner shall be responsible for consulting with and obtaining any necessary approvals from Hydro One and Bell Canada regarding any matters that relate to services provided by Hydro One and Bell Canada.
9. The Owner shall be responsible for consulting with and obtaining any necessary approvals from the Ministry of the Environment and the Essex Region Conservation Authority.
10. The Owner shall be responsible for consulting with and obtaining any necessary approval from the Ministry of Culture.

11. All of the exterior walls of the building shall be as per the elevation drawings as shown on Schedule "F".
12. All parking or loading areas and lanes and driveways shall be paved with asphalt or a concrete Portland cement or other like material capable of permitting accessibility under all climatic conditions, as shown on Schedule "B" and together with crushed stone, slag, gravel, crushed brick, tile, cinders or like materials, having a combined depth of at least 15.2 cm and with provisions for drainage facilities.
13. The Owner shall maintain a minimum of parking spaces, as designated on Schedule "B".
14. All walkways on the said lands, where so designated on Schedule "B" shall be constructed of either concrete or interlocking paving stone by the Owner to the satisfaction of the Corporation.
15. If any curbs, sidewalks, boulevards or highway surfaces of the Corporation are damaged during the development by the Owner, such damage shall be repaired or replaced by the Owner.
16. Snow removal from the parking or loading areas and lanes, driveways and walkways shall be the responsibility of the Owner.
17. The Owner shall install and maintain a system for the disposal of storm and surface water as indicated on Schedules "E-1" and "E-2" so that no such water will flow along the surface from the said lands onto any adjoining lands. All storm and surface water disposal systems shall be to the satisfaction of the Corporation's Engineer and Essex Region Conservation Authority and separated from the sanitary sewer.
18. Any garbage or refuse that is stored outside shall be stored in a non-combustible container and maintained so that the garbage or refuse does not blow or fall out of the container.
19. Any and all lighting shall be installed and maintained in accordance with the standards set out in the Development Manual and, so as to not, in the opinion of the Corporation, interfere with the use or enjoyment of adjacent properties or with the safe flow of traffic on abutting or adjacent streets.
20. The Owner shall landscape and maintain in plants and ground cover acceptable to the Corporation those lands so indicated on Schedules "D-1" and "D-2". The Owner agrees that the site will be inspected on an annual basis and any deficiencies will require immediate correction in accordance with the approved site plan.
21. All driveways for emergency vehicles shall:
 - (1) Be connected with a public thoroughfare;
 - (2) Be designed and constructed to support expected loads imposed by firefighting equipment;
 - (3) Be surfaced with concrete, asphalt or other material capable of permitting accessibility under all climatic conditions;
 - (4) Have a clear width of 3 metres at all times;

- (5) Be located not less than 3 metres and not more than 15.2 metres measured horizontally and at right angles from the face of the building;
 - (6) Have an overhead clearance not less than 4.5 metres;
 - (7) Have a change in gradient of not more than 1 in 12.5 over a minimum distance of 15.2 metres; and
 - (8) Have approved signs displayed to indicate the emergency route.
22. The Owner agrees that access to the subject property will be provided from Boblo Island Boulevard. The Owner shall construct an access road to the said lands in accordance with approved engineering drawings and to the Corporation's specifications. The Owner is required to enter into a development agreement for the said access road which will be dedicated as a public highway upon acceptance by the Town. The access road to be completed to the satisfaction of the Corporation prior to construction of the yacht club and accessory uses.
23. The parties hereto acknowledge and agree that with respect to sewage capacity, upon approval of this Site Plan, all sewage capacity previously contemplated based on forecasted flows will have been allocated. Any future sewage and water capacity allocations will be determined based on actual flows using the Ministry of Environment (MOE) Procedure D-5-1 for calculating and reporting uncommitted reserve capacity at sewage and water treatment plants.
24. If the Ontario Building Code requires that an architect or professional engineer or both shall be responsible for the field review of any new building or extension provided for in this Agreement, the Owner shall not occupy or use or permit to be occupied or used any said new building or extension until after an architect or professional engineer has given to the Corporation a letter addressed to the Corporation and signed by him certifying that all services on or in the said lands, required for this development or redevelopment and not contained within a building, have been installed and completed in a manner satisfactory to the architect or professional engineer.
25. The Corporation through its servants, officers and agents including its building inspector, plumbing inspector, fire chief, public works head and municipal engineer may from time to time and at any time enter on the premises of the Owner to inspect:
- (1) The progress of development;
 - (2) The state of maintenance as provided for in this Agreement.
26. In the event of any servant, office or agent of the Corporation determining upon inspection the development is not proceeding in strict accord with the plans and specifications filed, such servant, officer or agent shall forthwith place a notice requiring all work to be stopped upon the premises and forward a copy by registered mail to the Owner at his last address as shown by the revised assessment rolls, and the Owner shall forthwith correct the deficiency or deviation.

27. In the event of any servant, officer or agent of the Corporation upon inspection being of the opinion that the state of maintenance is not satisfactory, such servant, officer or agent shall forthwith forward notice of such opinion to the Owner by registered mail at his last address as shown from the revised assessment rolls, and the Owner shall forthwith correct the deficiency or appeal to Council of the Corporation as hereinafter provided.
28. In the event an Owner should disagree with the opinion of the servant, officer or agent of the Corporation as to the state of maintenance, such Owner shall appear before Council of the Corporation, which after hearing the Owner, shall express its opinion as to whether the maintenance is satisfactory by resolution, which shall constitute a final determination of the matter.
29. In the event that an Owner should fail to obey a stop work order issued under Section 26 hereof, the Owner recognizes the right of the Corporation to apply to the Courts for a restraining order.
30. In the event that an Owner should fail to correct a deviation or deficiency after notice pursuant to Section 27 or after notice of an opinion, which Council of the Corporation determines is correct under Section 28, the Council of the Corporation may by law direct or default of the matter or thing being done by the Owner, after two (2) weeks notice to it by registered mail at the last shown address of the Owner pursuant to the revised assessment rolls of passage of such by-law, that such matter or thing be done by the Corporation at the expense of the Owner, which expense may be recovered by action or like manner as municipal taxes.
31. In the event of an Owner wishing to change at any time any of the buildings, structures or facilities described in the plans annexed or referred to in Section 3 hereof, it shall make application to Council of the Corporation for approval and shall not proceed with such change until approval is given by such Council, or in default by the Ontario Municipal Board, under the procedure set out in Section 41 of the Planning Act, R.S.O. 1990 herebefore referred to.
32. This Agreement and the provisions thereof do not give to the Owner or any person acquiring any interest in the said lands any rights against the Corporation with respect to the failure of the Owner to perform or fully perform any of its obligations under this Agreement or any negligence of the Owner in its performance of the said obligations.
33. In the event that no construction on the said lands has commenced within one (1) year from the date of registration of this Agreement, the Corporation may, at its option, on one month's notice to the Owner, declare this Agreement to be subject to re-negotiation, whereupon the Owner agrees that it will not undertake any construction on the said lands until this Agreement has been re-negotiated.
34. The Owner to prepare a Stormwater Management report satisfactory to the Corporation and the Essex Region Conservation Authority.

35. All facilities and matters required by this Agreement shall be provided and maintained by the Owner at its sole risk and expense to the satisfaction of the Corporation and in accordance with the standards determined by the Corporation and in default thereof and without limiting other remedies available to the Corporation, the provisions of Section 469 of The Municipal Act shall apply.
36. A financial guarantee (certified cheque or irrevocable letter of credit – self renewing without burden of proof) for 50% of the value of on-site improvements exclusive of building and structures is required as part of the site plan agreement in addition to financial security in the amount of 100% for all off-site works required as part of this development. The Owner's engineer is required to provide a certified estimate of the cost of the on-site and off-site work for consideration and approval by the Town's Public Works Manager. Once the Town has inspected and approved the construction of the on-site and off-site works, the Owner will be required to provide security for a one year maintenance period in the amount of 15% of the cost of on-site and off-site improvements.
37. This Agreement shall be registered against the land to which it applies, at the expense of the Owner, and the Corporation shall be entitled, subject to the provisions of The Registry Act and The Land Titles Act, to enforce its provisions against the Owner named herein and any and all subsequent owners of the land.

IN WITNESS WHEREOF the Owner executed this Agreement.

OWNER: BOBLO DEVELOPMENTS INC.

Dominic Amicone

CORPORATION OF THE
TOWN OF AMHERSTBURG

Mayor

Clerk

Authorized and approved by
By-law 2007-63 enacted the
24th day of September, 2007.

SCHEDULE "A"

The following is a description of the land to which this instrument applies.

in the Town of Amherstburg,
County of Essex,
Province of Ontario

OWNER: BOBLO DEVELOPMENTS INC.

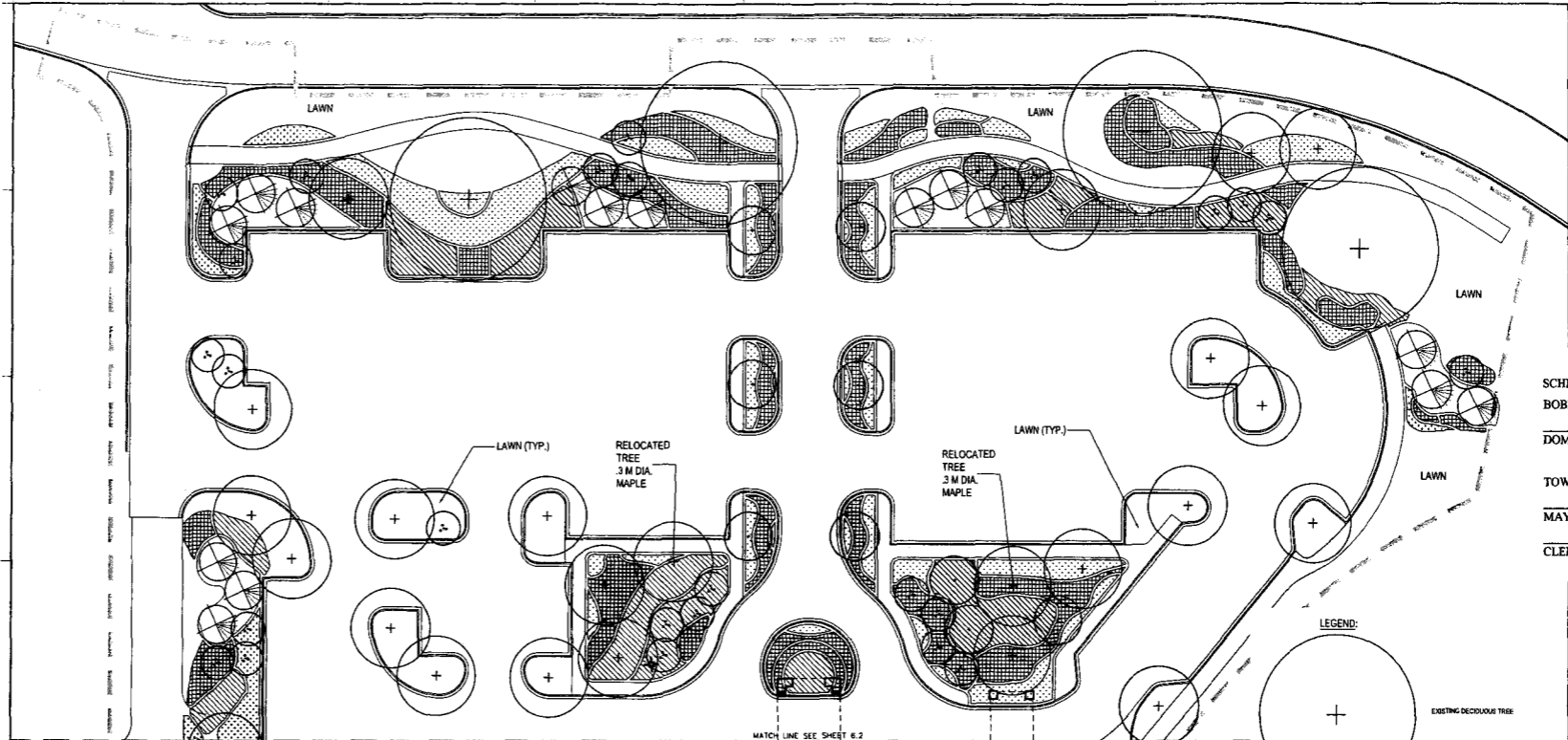
Dominic Amicone

CORPORATION OF THE
TOWN OF AMHERSTBURG

Mayor

Clerk

ALL WORK CONTAINED ON THESE ELECTRONIC GRAPHIC FILES ARE COPIES OF INSTRUMENTS OF PROFESSIONAL SERVICES AND ARE COPYRIGHTED

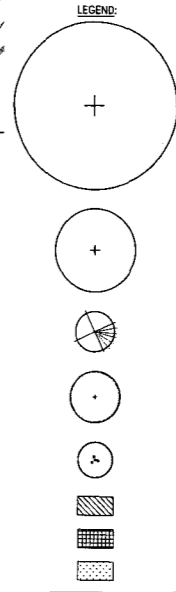


FILE P:\45591\010\DWG\45591-010-60-PLANT.dwg USER: jbrunton DATE: 24.03.2007 TIME: 10:33:38 AM

PLANT LIST	
Botanical Name	Common Name
Canopy Trees	
<i>Acer rubrum 'Franksford'</i>	Red Sunset Maple
<i>Betula nigra 'Heritage'</i>	Heritage River Birch
<i>Ginkgo biloba 'Autumn Gold'</i>	Autumn Gold Ginkgo
<i>Gleditsia triacanthos 'Imperial'</i>	Imperial Thornless Honeylocust
<i>Quercus ellipsoides</i>	Northern Pin Oak
<i>Ulmus parvifolia</i>	Laebank Elm
Conifers	
<i>Picea omorika</i>	Serbian Spruce
<i>Pseudotsuga menziesii</i>	Douglas Fir
<i>Thuja occidentalis 'Drapacott's Spire'</i>	Drapacott's Spire Arborvitae
<i>Thuja occidentalis 'Nana'</i>	Dark Green Arborvitae
Ornamental Trees	
<i>Amelanchier canadensis</i>	Multi-stem Shadblow Serviceberry
<i>Cercis canadensis</i>	Redbud
<i>Cornus kousa</i>	Kousa Dogwood
Tall Shrubs	
(D) <i>Amorpha arbuscula 'Bohannansiana'</i>	Brilliant Red Chokeberry
(D) <i>Ilex aquifolium 'Siberia'</i>	Siberia English Holly
(D) <i>Ilex x meserveae 'Blue Prince'</i>	Blue Prince Holly
(D) <i>Ilex x meserveae 'Blue Girl'</i>	Blue Girl Holly
(D) <i>Ligustrum amurense</i>	Amur Privet
(D) <i>Myrica pennsylvanica</i>	Northern Bayberry
(D) <i>Rhododendron 'Catawbiense'</i>	Catawbiense Rhododendron
(D) <i>Syringa patula 'Miss Kim'</i>	Miss Kim Lilac
(D) <i>Viburnum x rhytidophyloides 'Alleghany'</i>	Alleghany Viburnum
Medium Shrubs	
(GC) <i>Calamagrostis x scoufflora 'Karl Foerster'</i>	Karl Foerster Reed Grass
(D) <i>Cornus sericea 'Ipswich'</i>	Redtwig Dogwood
(D) <i>Fothergilla gardenii</i>	Dwarf Fothergilla

Botanical Name	Common Name
Medium Shrubs (cont.)	
(D) <i>Mahonia aquifolium</i>	Oregon Grape Holly
(GC) <i>Osmantha cinnamomea</i>	Cinnamon Fern
(D) <i>Rhododendron 'Lavender Queen'</i>	Lavender Queen Rhododendron
(D) <i>Spiraea x bumalda 'Anthony Waterer'</i>	Anthony Waterer Spiraea
(D) <i>Viburnum carlesii</i>	Korean Spice Viburnum
Small Shrubs	
(GC) <i>Begonia</i>	Green-leaf Begonia
(E) <i>Buxa x 'Green Gem'</i>	Green Gem Boxwood
(GC) <i>Composita verticillata 'Moonbeam'</i>	Moonbeam Threadleaf Coreopsis
(D) <i>Cotoneaster salicifolia 'Regardens Scarlet Leader'</i>	Scarlet Leader Cotoneaster
(GC) <i>Dicentra formosa 'Lauriana'</i>	Fem Leaf Bleeding Heart
(GC) <i>Hemerocallis 'Happy Returns'</i>	Happy Returns Daylily
(GC) <i>Hemerocallis 'Stella d'Oro'</i>	Stella d'Oro Daylily
(GC) <i>Hosta 'Royal Standard'</i>	Royal Standard Plantain Lily
(GC) <i>Hosta 'Blue Legend'</i>	Blue Legend Plantain Lily
(GC) <i>Impatiens walleriana</i>	Compact Impatiens
(E) <i>Juniperus sabina 'Buffalo'</i>	Buffalo Juniper
(GC) <i>Lavandula angustifolia 'Hidcote'</i>	Hidcote Lavender
(GC) <i>Lobelia maritima 'White'</i>	White Alyssum
(GC) <i>Narcissus 'Dutch Master'</i>	Dutch Master Daffodil
(GC) <i>Nyssa x 'Blue Wonder'</i>	Blue Wonder Cypripedium
(GC) <i>Pachystima terminalis</i>	Pachystima
(GC) <i>Parthenocissus vitacea</i>	Boston Ivy
(D) <i>Rhus aromatica 'Gro Low'</i>	Gro Low Fragrant Sumac
(GC) <i>Rubricola fulgida var. subvar. 'Goldstrum'</i>	Blackeyes Goldenrod
(GC) <i>Sedum spectabile 'Autumn Joy'</i>	Autumn Joy Sedum
(D) <i>Spiraea x bumalda 'Gold Flame'</i>	Gold Flame Spiraea
(GC) <i>Sporobolus heterolepis</i>	Prune Dropseed
(E) <i>Taxus x media 'Everlow'</i>	Everlow Yew

*Denote (E) - Evergreen Plant, (D) - Deciduous Plant, (GC) - Annuals/Perennials/Grasses/Groundcovers



BOB-LO
ESTABLISHED
RESPECT COMMUNITY
EST. 1993

Yacht Club and
Banquet Hall,
Amherstburg, Ontario

OWNER:
Amico Properties, Inc.
2155 Friesen Drive RR #1
Okanda, Ontario NOR 1L0
Tel: (519) 737-1577
Fax: (519) 737-1529

SCHEDULE "D-1" TO BY-LAW 2007-63
BOBLO DEVELOPMENTS INC.

DOMINIC AMICONE
TOWN OF AMHERSTBURG
MAYOR
CLERK

REVISION	DESCRIPTION	DATE
02-27-2007 <td></td> <td></td>		

NOT FOR CONSTRUCTION

SCALE AND SIGNATURES

PARKING LOT
PLANTING PLAN

DRAWING TITLE

PROJECT NORTH

SCALE
1" = 20'

SCALE

PROJECT NUMBER
24591.010

DRAWING NUMBER
6.1

GENERAL NOTES

- 1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE HEALTH AND SAFETY ACT AND REGULATIONS.
- 2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ENVIRONMENTAL PROTECTION ACT AND REGULATIONS.
- 3. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ELECTRICAL ACT AND REGULATIONS.
- 4. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE CONSTRUCTION ACT AND REGULATIONS.
- 5. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE MUNICIPAL ACT AND REGULATIONS.
- 6. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ZONING BY-LAW AND REGULATIONS.
- 7. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE TOWN OF AMHERSTEBURG ACT AND REGULATIONS.
- 8. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE TOWN OF AMHERSTEBURG ZONING BY-LAW AND REGULATIONS.
- 9. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE TOWN OF AMHERSTEBURG DEVELOPMENT ACT AND REGULATIONS.
- 10. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE TOWN OF AMHERSTEBURG DEVELOPMENT ZONING BY-LAW AND REGULATIONS.
- 11. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE TOWN OF AMHERSTEBURG DEVELOPMENT ACT AND REGULATIONS.
- 12. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE TOWN OF AMHERSTEBURG DEVELOPMENT ZONING BY-LAW AND REGULATIONS.
- 13. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE TOWN OF AMHERSTEBURG DEVELOPMENT ACT AND REGULATIONS.
- 14. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE TOWN OF AMHERSTEBURG DEVELOPMENT ZONING BY-LAW AND REGULATIONS.
- 15. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE TOWN OF AMHERSTEBURG DEVELOPMENT ACT AND REGULATIONS.
- 16. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE TOWN OF AMHERSTEBURG DEVELOPMENT ZONING BY-LAW AND REGULATIONS.
- 17. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE TOWN OF AMHERSTEBURG DEVELOPMENT ACT AND REGULATIONS.
- 18. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE TOWN OF AMHERSTEBURG DEVELOPMENT ZONING BY-LAW AND REGULATIONS.
- 19. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE TOWN OF AMHERSTEBURG DEVELOPMENT ACT AND REGULATIONS.
- 20. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE TOWN OF AMHERSTEBURG DEVELOPMENT ZONING BY-LAW AND REGULATIONS.

SITE GRADING

- 1. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 2. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 3. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 4. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 5. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 6. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 7. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 8. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 9. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 10. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 11. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 12. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 13. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 14. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 15. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 16. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 17. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 18. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 19. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.
- 20. ALL EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE GRADING PLAN.

STORM SEWER SYSTEM

- 1. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 2. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 3. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 4. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 5. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 6. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 7. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 8. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 9. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 10. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 11. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 12. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 13. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 14. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 15. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 16. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 17. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 18. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 19. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 20. ALL STORM SEWER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.

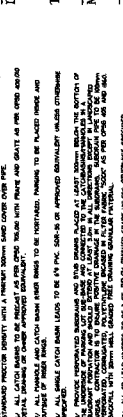
WATERWAYS

- 1. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 2. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 3. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 4. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 5. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 6. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 7. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 8. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 9. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 10. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 11. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 12. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 13. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 14. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 15. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 16. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 17. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 18. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 19. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 20. ALL WATERWAYS SHALL BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.

STORM AND RAINFALL DRAINAGE

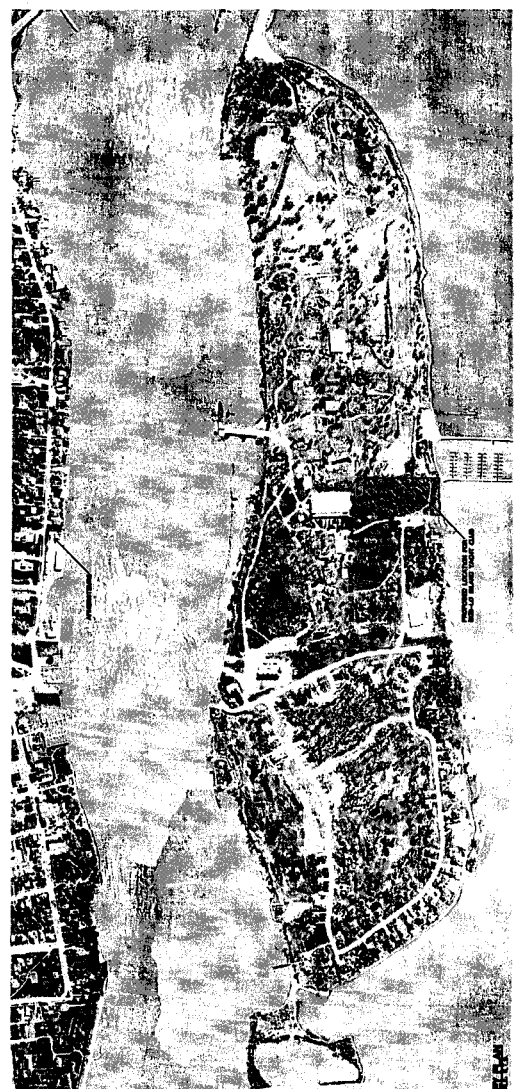
- 1. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 2. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 3. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 4. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 5. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 6. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 7. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 8. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 9. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 10. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 11. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 12. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 13. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 14. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 15. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 16. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 17. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 18. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 19. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 20. ALL STORM AND RAINFALL DRAINAGE SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.

CROSS SECTION OF SEDIMENTATION CONTROL FENCE CP80 - 2010



GENERAL NOTES

- 1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 3. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 4. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 5. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 6. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 7. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 8. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 9. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 10. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 11. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 12. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 13. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 14. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 15. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 16. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 17. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 18. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 19. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.
- 20. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ACT AND REGULATIONS.



SCHEDULE 'E-1' TO BY-LAW 2007-63
BOBLO DEVELOPMENTS INC.

DOMINIC AMICONE
TOWN OF AMHERSTEBURG
MAYOR
CLERK

No.	Description	Date	By
1	Issue for Public Review		
2	Issue for Public Review		
3	Issue for Public Review		
4	Issue for Public Review		
5	Issue for Public Review		
6	Issue for Public Review		
7	Issue for Public Review		
8	Issue for Public Review		
9	Issue for Public Review		
10	Issue for Public Review		

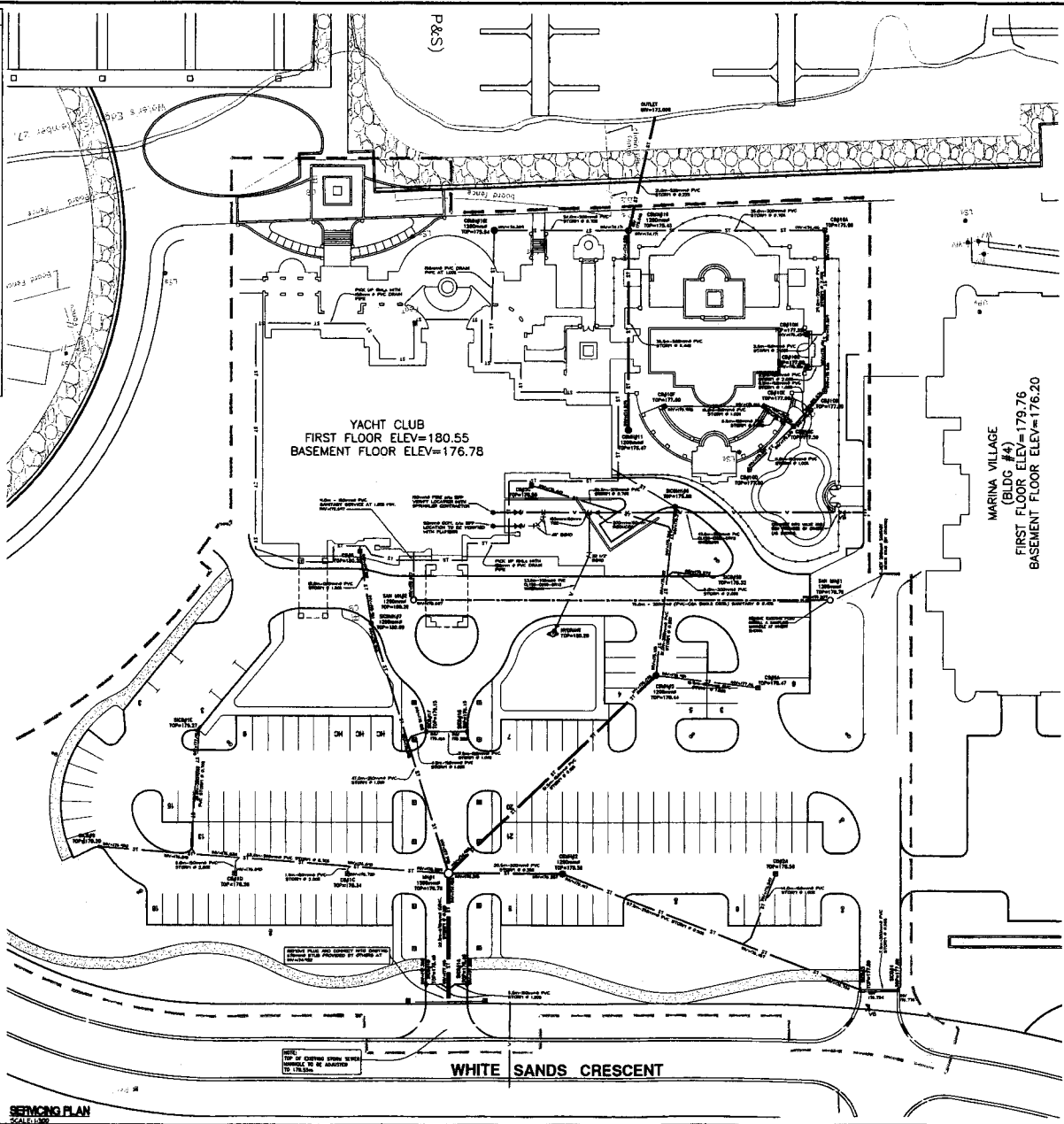
GILOS ASSOCIATES INC.
200 North Beaver Road, Suite 200, Oakville, Ontario L6M 3H2
Tel: 905.845.1234 Fax: 905.845.1235
www.gilos.com

BOBLO ISLAND YACHT CLUB
AMICO PROPERTIES INC.
MINDOR, ONTARIO

SITE NOTES

06/188 SP100

LEGEND	
---	LIFT OF CONSTRUCTION
—H—	OVERHEAD HYDRO
—V—	WATERMAIN
—ST—	STORM SEWER
—S—	SANITARY SEWER
—G—	GAS LINE
—B—	BELL LINE
—E—	HYDRO LINE
—	RETAINING WALL
MH ○	STORM MANHOLE
MH ●	SANITARY MANHOLE
●	EXISTING MANHOLE
CB	EXISTING CATCH BASIN
CB	CATCH BASIN
CBMH ●	CATCH BASIN MANHOLE
●	CSP MANHOLE WITH GRATE
VM	VALVE AND VALVE BOX
WV	EXISTING WATER VALVE
●	FIRE HYDRANT
GM	GAS METER
SICB	SIDE INLET CATCH BASIN
SICB/M	SIDE INLET CATCH BASIN MANHOLE



This drawing is the property of the architect/ engineer and may not be reproduced or used without the written consent of the architect/engineer. These drawings are not to be used for construction purposes unless indicated as "Issued for Construction". The contractor shall verify all dimensions and report any discrepancies before proceeding. This drawing is NOT to be scaled, use figure dimensions only.

SCHEDULE "E-2" TO BY-LAW 2007-63
BOBLO DEVELOPMENTS INC.

DOMINIC AMICONE

TOWN OF AMHERSTBURG

MAYOR

CLERK

NO.	DESCRIPTION	DATE	BY
1	ISSUE FOR PERMIT	2007/08/09	T.G.
2	ISSUE FOR CONSTRUCTION		
3	ISSUE FOR AS-BUILT		

GLOS
GLOS ASSOCIATES INC.
1835 North Service Road East, Unit 100, Whitby, Ontario L1M 1Y7
Tel: (905) 881-4278 Fax: (905) 881-4279



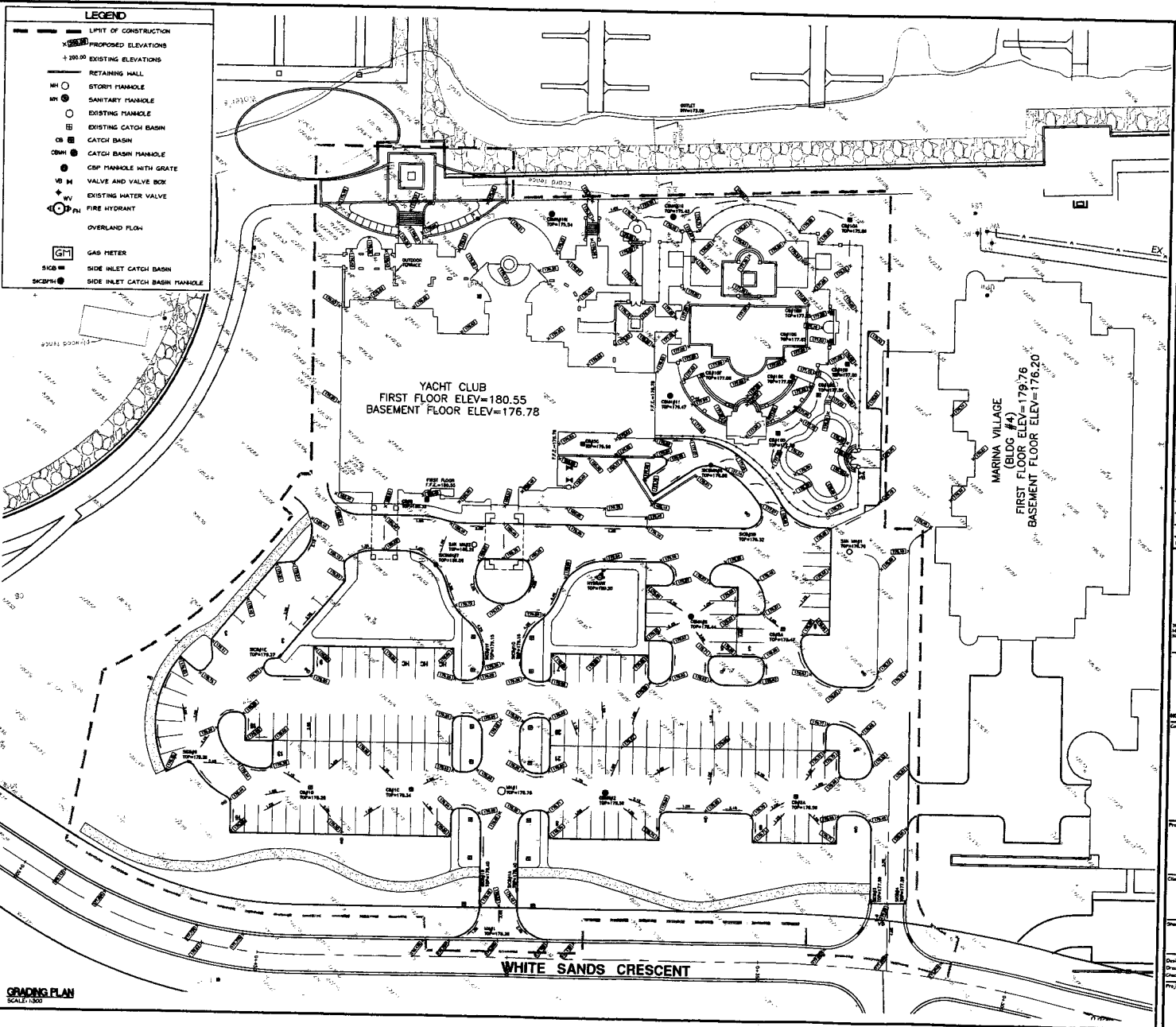
Project Name:
**BOB-LO ISLAND
YACHT CLUB**

Client:
**BOB-LO ISLAND
AMCO PROPERTIES INC.**

Location:
HANCOCK, ONTARIO

Sheet Title:
**SERVICING
PLAN**

Design By: S.S.
Drawn By: S.S.
Checked By: T.G.
Project No: 06188
Sheet No: SP101



GRADING PLAN
SCALE: 1/8"=1'-0"

This drawing is the property of the Architect/Engineer and shall not be reproduced or used without their consent or the Architect/Engineer's permission unless indicated as "Released for Construction".
The contractor shall verify all dimensions and report any discrepancies before proceeding.
This drawing is NOT to be used for other purposes than those intended.

SCHEDULE "E-3" TO BY-LAW 2007-63
BOBLO DEVELOPMENTS INC.
DOMINIC AMICONE
TOWN OF AMHERSTBURG
MAYOR
CLERK

No.	Issued For	Date	Rev.
1	SUBMITTAL	2007/09/24	T.G.

GLOS
GLOS ASSOCIATES INC.
2444 North Service Road East, T.O. ONT. M2H 3P9
Tel: (416) 467-7979 Fax: (416) 467-2295

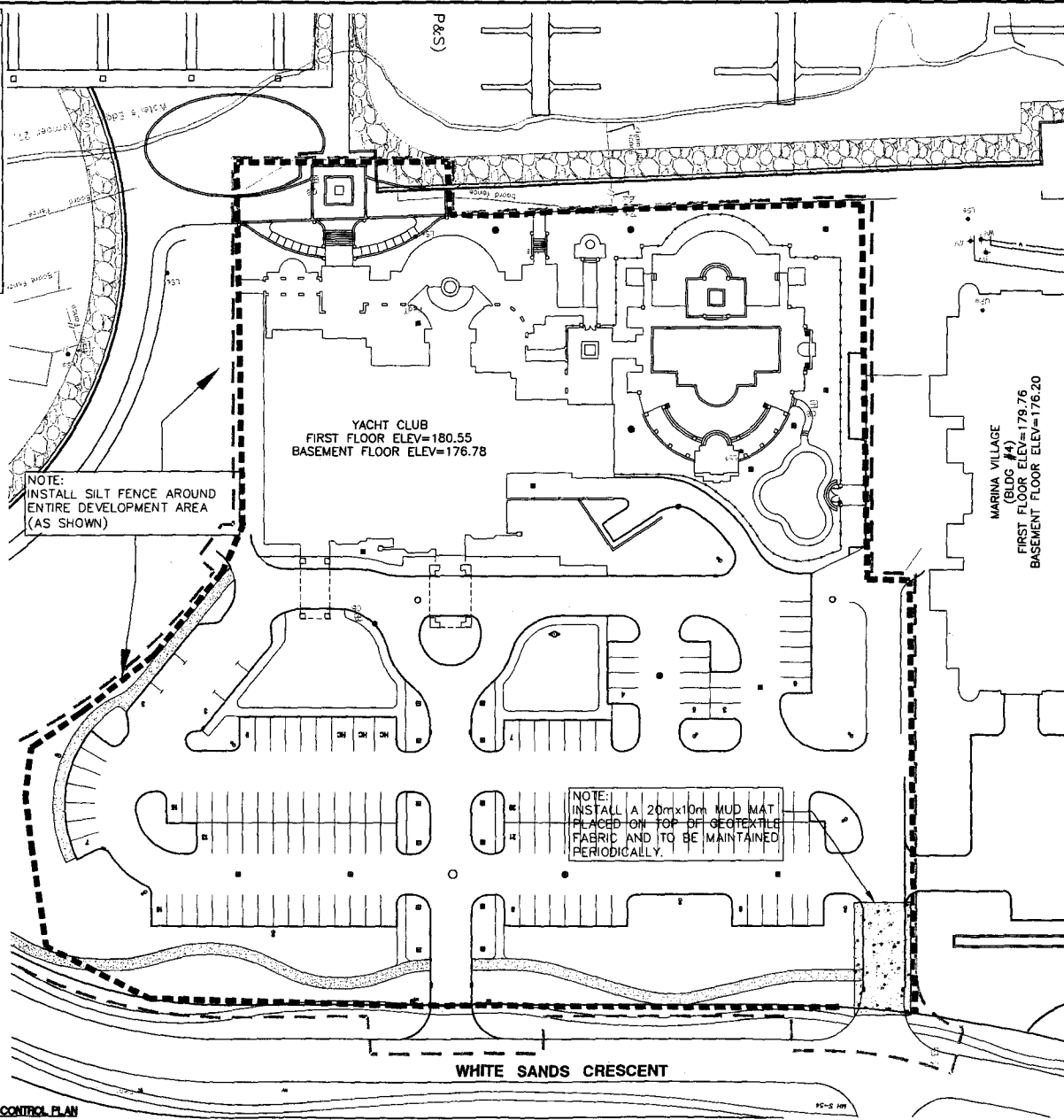


Project Name: **BOB-LO ISLAND YACHT CLUB**
Client: **BOBLO DEVELOPMENTS INC.**
Address: **AMCOO PROPERTIES INC.**
City: **HINDSBURG, ONTARIO**
Sheet Title: **GRADING PLAN**

Drawn By: S.E.
Checked By: S.E.
Project No: **06188**
Sheet No: **SP102**

LEGEND

- LIMIT OF CONSTRUCTION
- SILT FENCE
- RETAINING WALL
- MH ○ STORM MANHOLE
- MH ● SANITARY MANHOLE
- EXISTING MANHOLE
- EXISTING CATCH BASIN
- CATCH BASIN
- CBMH ● CATCH BASIN MANHOLE
- CSP MANHOLE WITH GRATE
- VE M VALVE AND VALVE BOX
- EXISTING WATER VALVE
- FV FIRE HYDRANT
- OVERLAND FLOW
- GM GAS METER



NOTE:
INSTALL SILT FENCE AROUND
ENTIRE DEVELOPMENT AREA
(AS SHOWN)

NOTE:
INSTALL A 20m x 10m MUD MAT
PLACED ON TOP OF GEOTEXTILE
FABRIC AND TO BE MAINTAINED
PERIODICALLY.

SEDIMENTATION CONTROL PLAN
SCALE: 1:500

This drawing is the property of the Architect/Engineer and shall not be reproduced or used without the express consent of the Architect/Engineer. These drawings are to be used for construction purposes unless indicated as "Issued For Construction". The contractor shall verify all dimensions and report any discrepancies before proceeding. This drawing is NOT to be scaled. Use figure dimensions only.

SCHEDULE "E-4" TO BY-LAW 2007-63
BOBLO DEVELOPMENTS INC.
DOMINIC AMICONE
TOWN OF AMHERSTBURG
MAYOR
CLERK

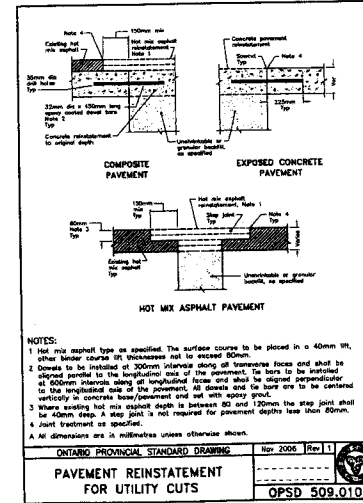
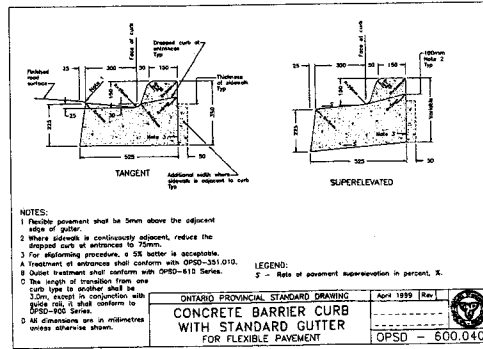
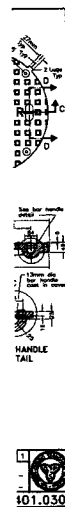
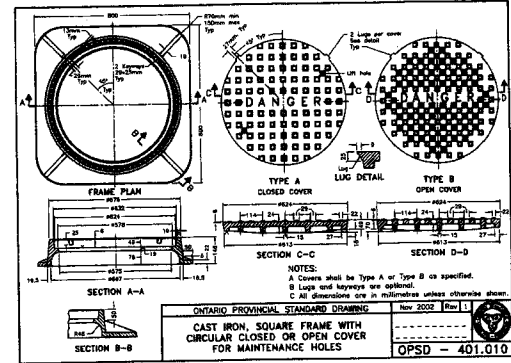
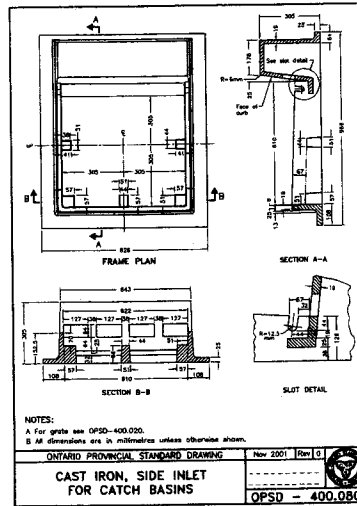
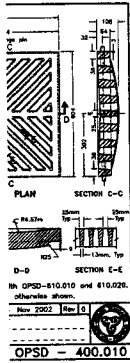
NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY		
2	REVISED		
3	REVISED		
4	REVISED		
5	REVISED		
6	REVISED		
7	REVISED		
8	REVISED		
9	REVISED		
10	REVISED		

GLOS ASSOCIATES INC.
2505 North Service Road East, Suite 100
Scarborough, Ontario M1V 4Y7
Tel: (416) 291-1100
Fax: (416) 291-2100



Project Name: BOBLO ISLAND YACHT CLUB
Client: BOBLO ISLAND
Owner: AMCOO PROPERTIES INC.
Address: WINDSOR, ONTARIO
Sheet Title: SEDIMENTATION CONTROL PLAN

Drawn By: S.R.
Checked By: T.G.
Project No: 06188
Sheet No: SPI03



This drawing is the property of the Architect/Engineer and shall not be reproduced or used without the written consent of the Architect/Engineer. These drawings are not to be used for construction purposes unless indicated as "Issued for Construction".
The contractor shall verify all dimensions and report any discrepancies before proceeding.
This drawing is NOT to be used for the type of structure shown.

SCHEDULE "E-5" TO BY-LAW 2007-63
BOBLO DEVELOPMENTS INC.

DOMINIC AMICONE
TOWN OF AMHERSTBURG
MAYOR
CLERK



Project Name: **BOB-LO ISLAND YACHT CLUB**
Client: **BOBLO ISLAND AMCO PROPERTIES INC.**
Location: **HWY50R, ONTARIO**
Sheet Title: **SITE DETAILS**
Drawn By: G.R.
Checked By: T.F.
Project No: **06188**
Sheet No: **SP301**

This drawing is the property of the architect/ engineer and may not be reproduced or used with out the expressed consent of the architect/engineer. These drawings are not to be used for construction purposes unless indicated as "Issued for Construction". The contractor shall verify all dimensions and report any discrepancies before proceeding. This drawing is 1/8" = 1'-0" to be used. Use figure dimensions only.

SCHEDULE "E-5" TO BY-LAW 2007-63 CONTINUED

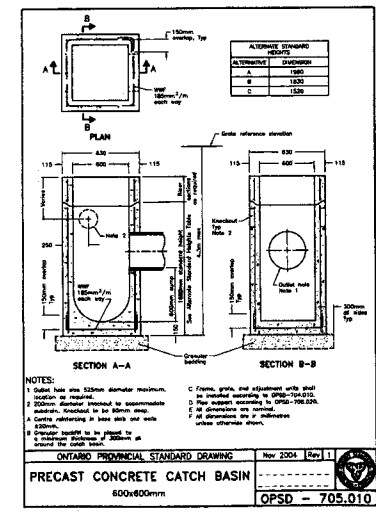
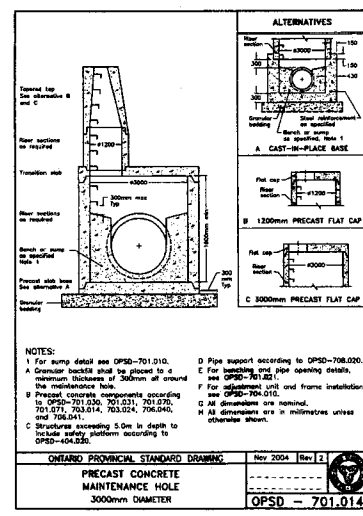
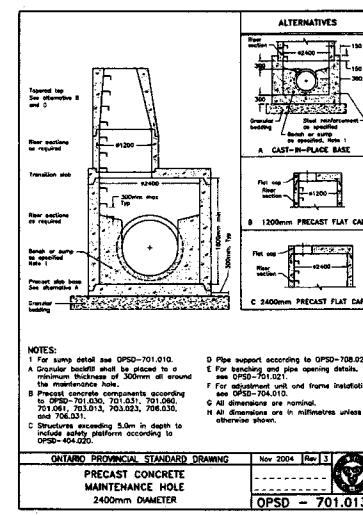
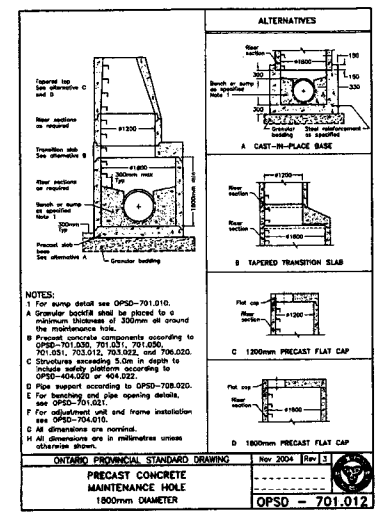
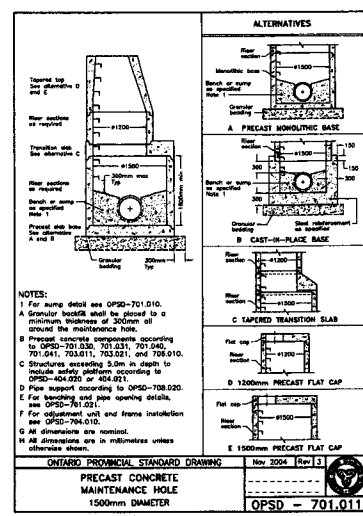
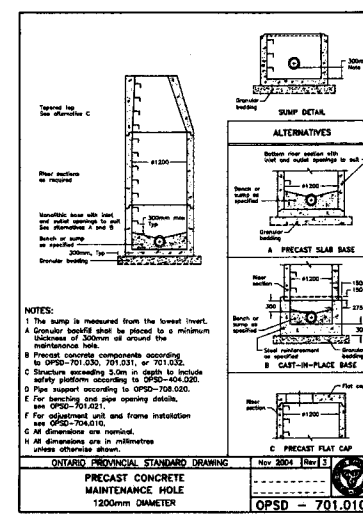
BOBLO DEVELOPMENTS INC.

DOMINIC AMICONE

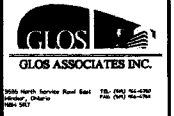
TOWN OF AMHERSTBURG

MAYOR

CLERK



1	ERCA & SITE PLAN APPROVAL	2007/06/06	TS
No.	Issued By:	Date:	By:



PROJECT NAME:	BOBLO ISLAND YACHT CLUB
CLIENT:	BOBLO ISLAND
OWNER:	AMCO PROPERTIES INC.
LOCATION:	HINDSBOR, ONTARIO
SHEET TITLE:	SITE DETAILS
DESIGN BY:	S.R.
DRAWN BY:	T.F.
CHECKED BY:	T.G.
PROJECT NO.:	06188
SHEET NO.:	SP302

This drawing is the property of the architect, engineer and may not be reproduced or used without the written consent of the architect/engineer. These drawings are to be used for construction purposes unless indicated as "Issued for Construction". The contractor shall verify all dimensions and report any discrepancies before proceeding. This drawing is NOT to be used for other dimensions any.

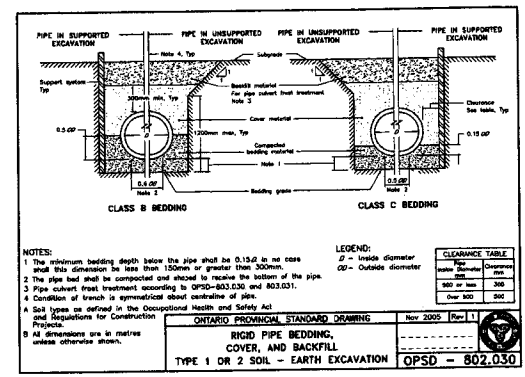
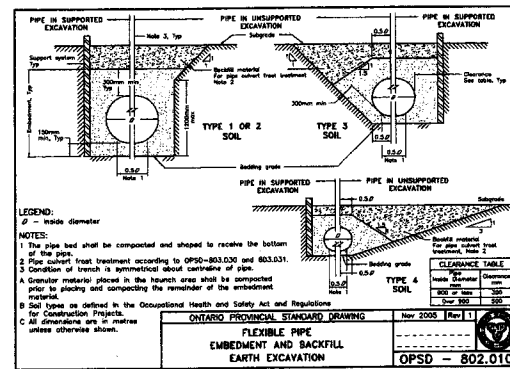
SCHEDULE "E-5" TO BY-LAW 2007-63 CONTINUED
BOBLO DEVELOPMENTS INC.

DONIC AMICONE

TOWN OF AMHERSTBURG

MAYOR

CLERK

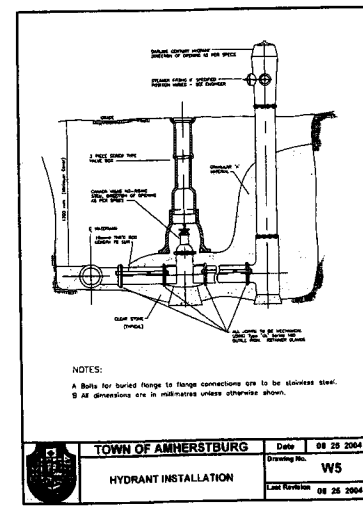


PIPE SIZE (mm)	COMPACTED TRENCH			
	300-D	375-D	450-D	525-D
300	100	100	100	100
375	100	100	100	100
450	100	100	100	100
525	100	100	100	100
600	100	100	100	100
675	100	100	100	100
750	100	100	100	100
825	100	100	100	100
900	100	100	100	100
975	100	100	100	100
1050	100	100	100	100
1200	100	100	100	100
1350	100	100	100	100
1500	100	100	100	100
1800	100	100	100	100

NOTES:
A The load factor used for the calculation of the minimum bedding factor is Class "A" bedding-2.4.
B The bedding factor is based on OPSD-803.030 and is the width of the trench measured at the top of the pipe.
C Minimum depth of cover to be 800mm.
D Strength of pipe is 28 MPa, 38 MPa, 48 MPa and 58 MPa in accordance to USA Standard A25.2.
E The table is based on a unit weight of 1800 kg/m³ and for value of 0.15D for Confined Trench.
F All dimensions are in millimetres or metres unless otherwise shown.

LEGEND:
M, or No Limit

ONTARIO PROVINCIAL STANDARD DRAWING Date 1992.05.01 Rev 1
SPECIFIED MINIMUM CLASS OF PIPE REINFORCED CONCRETE PIPE - COMPACTED TRENCH CLASS: 30-D, 375-D, 450-D, 525-D OPSD - 807.01



GLOS ASSOCIATES INC.
2544 North Service Road East, Unit 100, Amherstburg, Ontario, Canada
Tel: (416) 941-0100 Fax: (416) 941-0100

PROJECT NAME: BOB-LO ISLAND YACHT CLUB
CLIENT: BOBLO ISLAND AMCO PROPERTIES INC.
LOCATION: HINDSBORO, ONTARIO
SITE TITLE: SITE DETAILS
DESIGN BY: B.R. CHEN BY: P.F. CHECKED BY: T.G.
PROJECT NO: 06188 SHEET NO: SP303

DOMINIC AMICONE

TOWN OF AMHERSTBURG

MAYOR

CLERK



EAST ELEVATION

PROJECT TITLE
BOBLO ISLAND YACHT CLUB
AMHERSTBURG, ONTARIO


AMICO
DESIGN BUILD INC.

2155 FASAN DRIVE
OLDCASTLE, ONT
NOR 1L0
PHONE (519) 737-1577
FAX (519) 737-1929

DOMINIC AMICONE _____

TOWN OF AMHERSTBURG _____

MAYOR _____

CLERK _____



WEST ELEVATION

PROJECT TITLE:
BOBLO ISLAND YACHT CLUB
AMHERSTBURG, ONTARIO


AMICO
DESIGN BUILD INC.

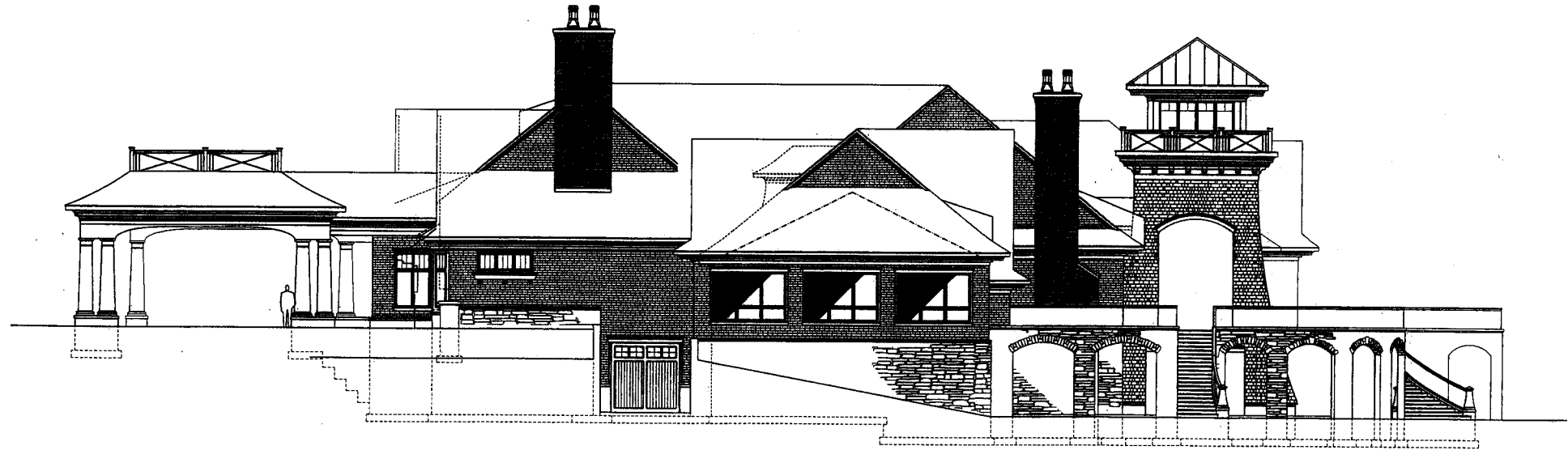
2155 FASAN DRIVE
OLDCASTLE, ONT
NOR 1L0
PHONE (519) 737-1577
FAX (519) 737-1929

DOMINIC AMICONE

TOWN OF AMHERSTBURG

MAYOR

CLERK



NORTH ELEVATION

PROJECT TITLE:
BOBLO ISLAND YACHT CLUB
AMHERSTBURG, ONTARIO


AMICO
DESIGN BUILD INC.

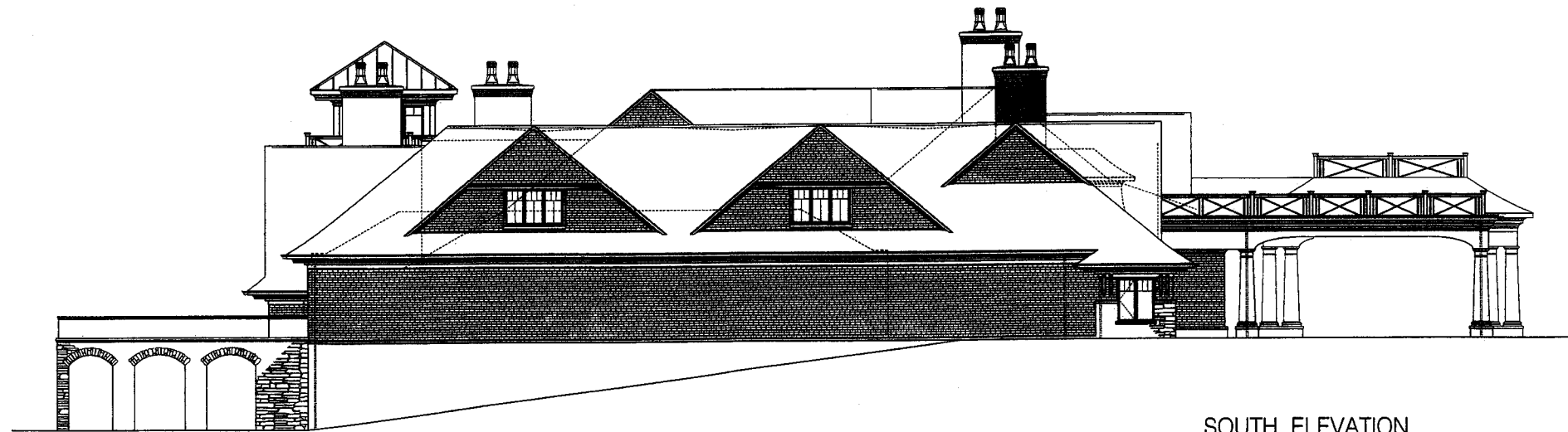
2155 EASAN DRIVE
OLDCASTLE, ONT
NOR 1L0
PHONE (519) 737-1377
FAX (519) 737-1929

DOMINIC AMICONE

TOWN OF AMHERSTBURG

MAYOR

CLERK



SOUTH ELEVATION

PROJECT TITLE:
BOBLO ISLAND YACHT CLUB
AMHERSTBURG, ONTARIO


AMICO
DESIGN BUILD INC.

2155 FASAN DRIVE
OLDCASTLE, ONT
N0R 1L0
PHONE (519) 737-1577
FAX (519) 737-1929